



TUBAC FIRE DISTRICT

2227 EAST FRONTAGE ROAD
P.O. BOX 2881
TUBAC, ARIZONA 85646
TELEPHONE: (520)398-2255

REGULAR MEETING OF THE BOARD OF DIRECTORS

The Tubac Fire District Board of Directors will meet in regular session on December 11, 2024, at 1:30 pm at the Tubac Community Center Building located at 50 Bridge Rd in Tubac. The following topics and any variables thereto, will be subject to Board consideration, discussion, approval, or other action. The Board may consider any item on this agenda in any order and at any time during the meeting. The Board may convene into Executive Session for discussion or consultation for legal advice with its attorney regarding any item on this agenda, in accordance with A.R.S. § 38-431.03(A)(3).

Members of the public may attend the meeting in person, by viewing the livestream on the Tubac Fire District Facebook page, or by telephone by calling (346) 248-7799 and entering the Webinar ID, 827 3360 0975, if prompted.

NOTE: Executive Sessions are CONFIDENTIAL pursuant to A.R.S. § 38-431.03(C). Members of the public may not participate in Executive Sessions.

Members of the public who are not able to attend the meeting in person, may submit comments to the Board by email. The emails will be read out loud during the meeting. Please email any comments to bhamric@tubacfire.org. Emails must be received no later than 5pm the day before the meeting and must include your full name as well as your phone number (to allow District staff to contact you with any questions).

Agenda

1. Call to order and Pledge of Allegiance
2. Roll call of Board Members
3. Reading of public comments submitted via email.
4. Call to the Public: "This is the time for the public to comment on items related to the Fire District. Members of the Board may not discuss items that are not on the agenda. Therefore, the Fire Board is not permitted to discuss or act on any items raised in the Call to the Public which is not on the agenda due to restrictions of the Open Meeting Law; however, individual Board members are permitted to respond to criticism directed to them. Otherwise, the Board has discretion to direct the Fire Chief to review the matter or that the matter is placed on a future agenda. Those wishing to address the Board need not request permission in advance. A member of the public may speak for a reasonable time as determined by the Board. If no time is specified, the presumed time limit will be 3 minutes per person. The Fire Board Chair may adjust time limitations and all individuals desiring to address the Fire Board will have the same opportunity."
5. Correspondence
6. Report from Board Members
7. Chief and Staff Report
 - a. Operations Update
 - b. Training
 - c. Administration Update

8. Monthly Financial Report for November 2024
9. Consent Agenda
 - a. Approval of minutes from November 20, 2024.
 - b. Approval of monthly financial report for November 2024.
10. Discussion and possible action to approve roof recoat for Tubac Fire Station#3 in an amount no to exceed\$13,179.66
11. Fire Station #1 presentation by Breckenridge and Associates.
12. Nomination and election of new board officers.
13. Future Agenda Items
14. Next meeting: January 29, 2024
15. Adjourn meeting.

Notice of Meeting (Agenda) dated and posted December 6, 2024, by 1330 p.m. local time by B. Hamric.

If any disabled person needs any type of accommodation, please notify the Tubac Fire District prior to the scheduled meeting time.



Staff Report
Tubac Fire Board
December 2024

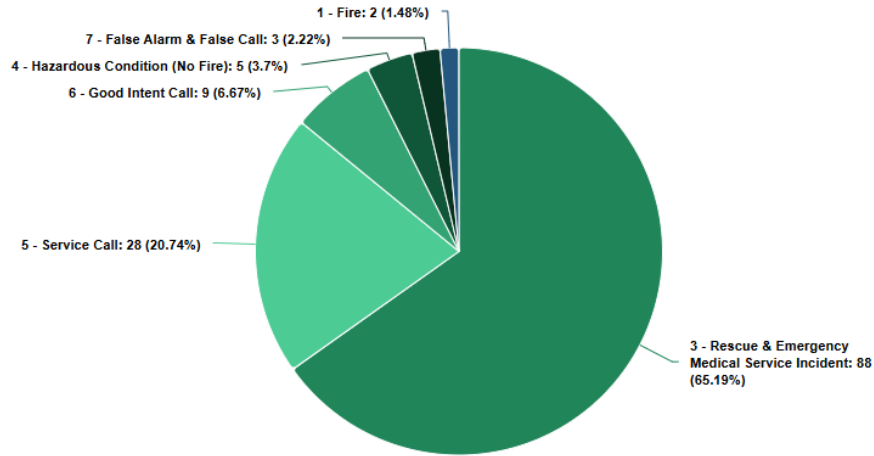
Tubac Fire District is committed to the safety of our community through the delivery of fire suppression, medical services, and public education.

Responses By Call Type



Incident Type Categories

Nov 01, 2024 to Nov 30, 2024



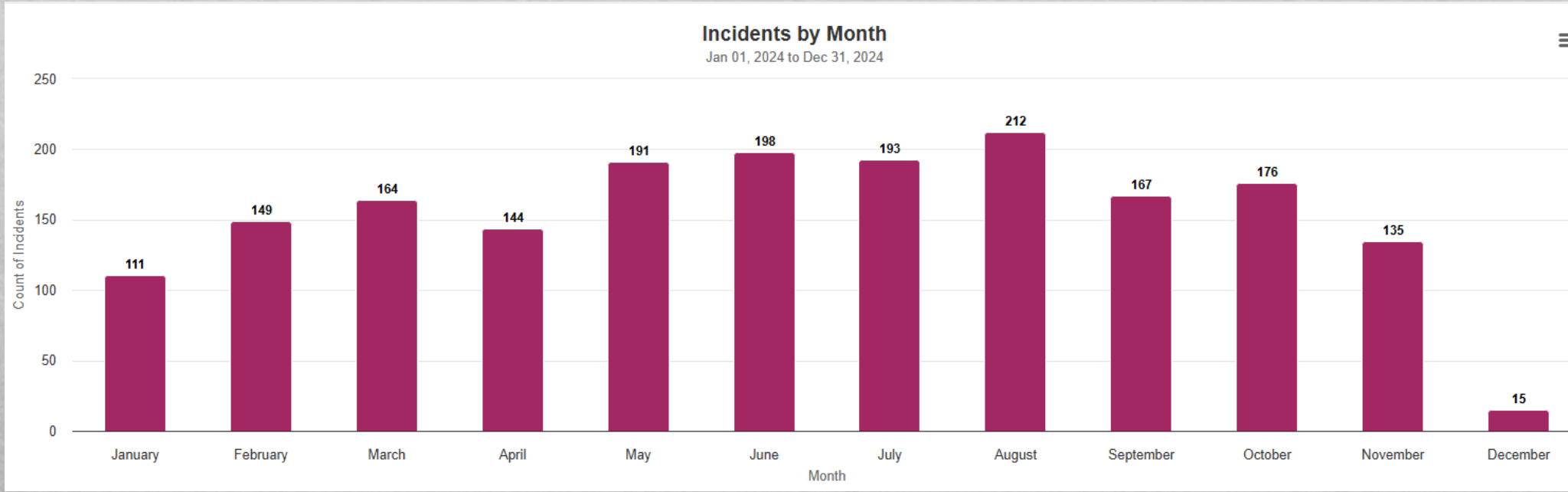
- **EMS** **88 (42 Transports, 2 Transfer of care to Air ambulance)**
- **Fire** **10**
- **Public Assist** **37**
- **Total Calls** **135**

Incidents by Category and Month

Jan 01, 2023 12:00 AM to Dec 04, 2024 03:28 PM

Incident Type Category	2024												2024		2023		YTD % Change
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Grand Total - Current	% of Total Incidents - Current	Grand Total - Previous	% of Total Incidents - Previous	
1 - Fire	4	5	3	2	3	7	3	5	3	2	0	0	39	2.00%	55	3.00%	-29.09%
3 - Rescue & Emergency Medical Service Incident	84	107	123	95	117	115	106	110	96	110	88	13	1,164	63.00%	931	57.00%	25.03%
4 - Hazardous Condition (No Fire)	1	3	6	5	4	2	5	6	4	5	5	0	46	2.00%	31	2.00%	48.39%
5 - Service Call	11	20	16	22	42	57	59	61	53	40	28	1	410	22.00%	428	26.00%	-4.21%
6 - Good Intent Call	6	8	11	13	18	9	8	15	7	10	9	0	114	6.00%	115	7.00%	-0.87%
7 - False Alarm & False Call	5	4	5	7	5	8	12	15	4	9	3	1	78	4.00%	74	5.00%	5.41%
8 - Severe Weather & Natural Disaster	0	0	0	0	0	0	0	0	0	0	0	0	0	0.00%	1	0.00%	-100.00%
9 - Special Incident Type	0	2	0	0	0	0	0	0	0	0	0	0	2	0.00%	0	0.00%	N/A
Grand Total	111	149	164	144	189	198	193	212	167	176	135	15	1,853	100.00%	1,635	100.00%	13.33%

2024 YTD Call Volume

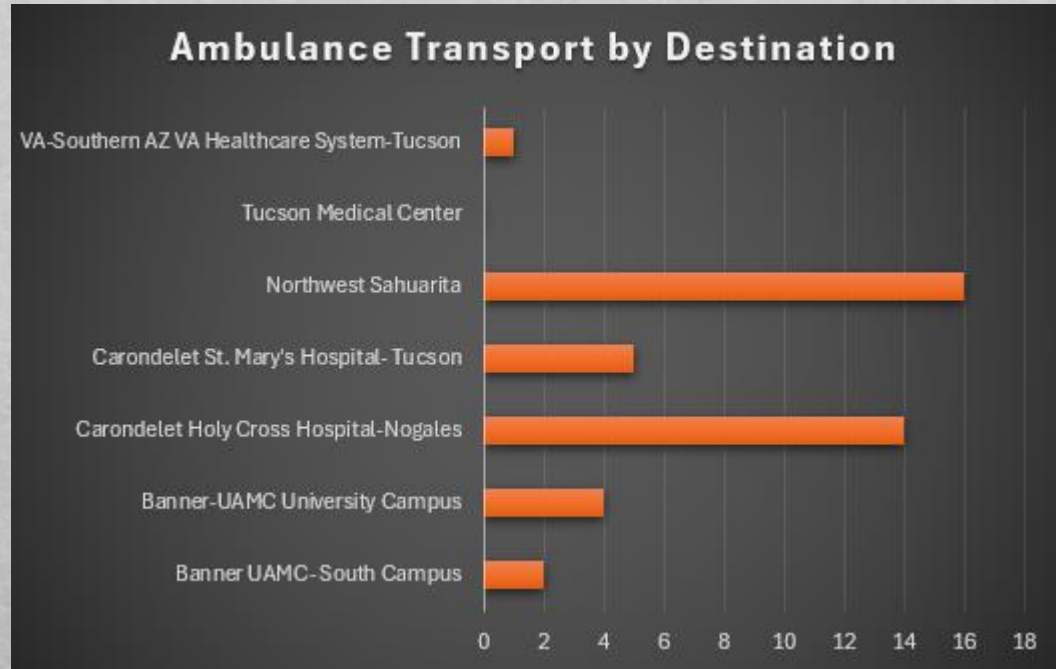


Monthly Call Volume Year over Year

Jan 01, 2023 12:00 AM to Dec 04, 2024 03:28 PM

Month Name	2024		2023		YTD % Change
	Grand Total - Current	% of Total Incidents - Current	Grand Total - Previous	% of Total Incidents - Previous	
January	111	6.00%	110	7.00%	0.91%
February	149	8.00%	128	8.00%	16.41%
March	164	9.00%	125	8.00%	31.20%
April	144	8.00%	145	9.00%	-0.69%
May	191	10.00%	142	9.00%	34.51%
June	198	11.00%	157	10.00%	26.11%
July	193	10.00%	164	10.00%	17.68%
August	212	11.00%	155	9.00%	36.77%
September	167	9.00%	156	10.00%	7.05%
October	176	9.00%	171	10.00%	2.92%
November	135	7.00%	171	10.00%	-21.05%
December	15	1.00%	12	1.00%	25.00%
Grand Total	1,855	100.00%	1,636	100.00%	13.39%

Ambulance Transports by Destination



Transports by Destination Summary

Nov 01, 2024 to Nov 30, 2024

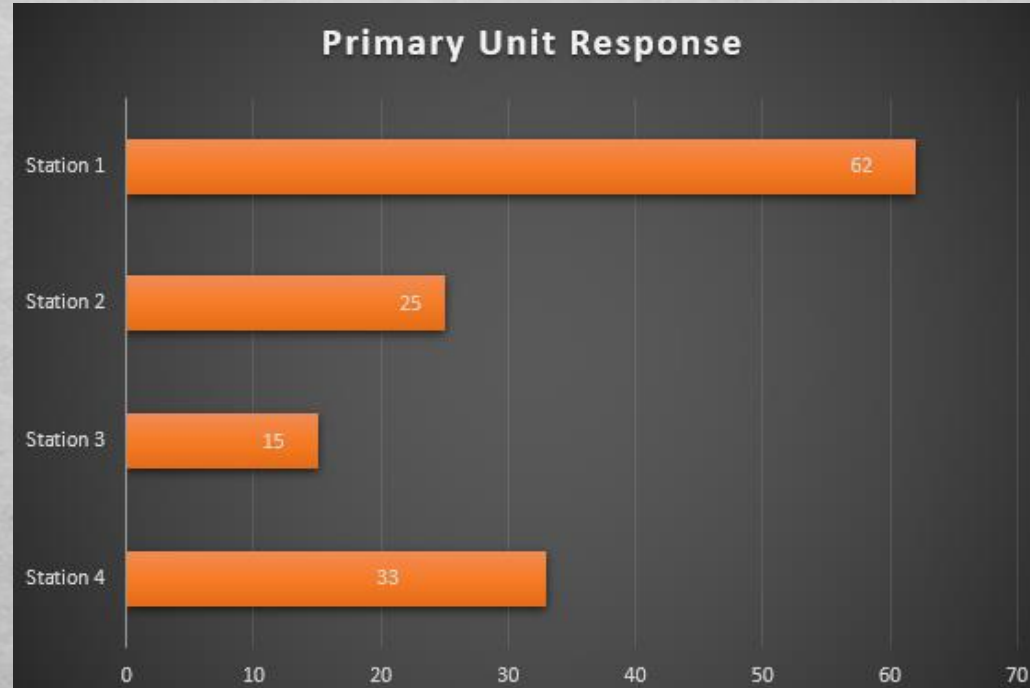
Hospital		Transports		Transport Time		Patient Arrival to Transfer of Care		Patient Arrival to Transfer of Care Signature		Patient Arrival to Unit Back in Service	
Name	ID	Total	% of Total	Median	90th Percentile	Median	90th Percentile	Median	90th Percentile	Median	90th Percentile
BANNER UAMC - South Campus (formerly Univ Physicians Hosp Kino)	MED2863	2	4.76%	49:44	54:39	20:31	28:50	22:59	27:40	33:11	34:53
BANNER-UAMC University Campus - Tucson	MED0257	4	9.52%	29:34	59:36	18:31	45:12	22:36	47:49	95:45	160:40
Carondelet Holy Cross Hospital - Nogales	MED0343	14	33.33%	18:40	20:43	06:43	11:44	05:25	15:28	32:53	53:27
Carondelet St. Mary's Hospital - Tucson	MED0254	5	11.90%	53:39	58:08	10:30	26:43	24:16	36:08	56:25	88:43
Northwest Sahuarita	MED8984	16	38.10%	27:57	36:22	09:48	40:52	07:42	41:57	36:43	82:25
VA-Southern AZ VA Healthcare System-Tucson	UNK0015	1	2.38%	32:13	32:13	08:08	08:08	06:47	06:47	18:31	18:31
Overall		42	100.00%	25:23	53:17	09:03	30:55	07:29	36:23	36:14	88:27

Emergency Responses By Station



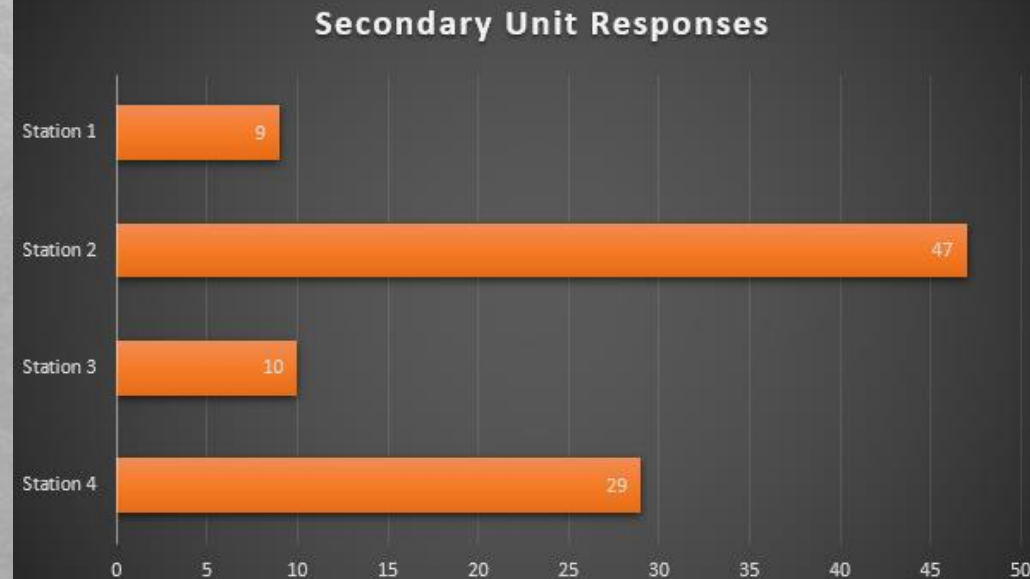
Primary Responses by Station

- Station 1 62
- Station 2 25
- Station 3 15
- Station 4 33



Secondary Responses by Station

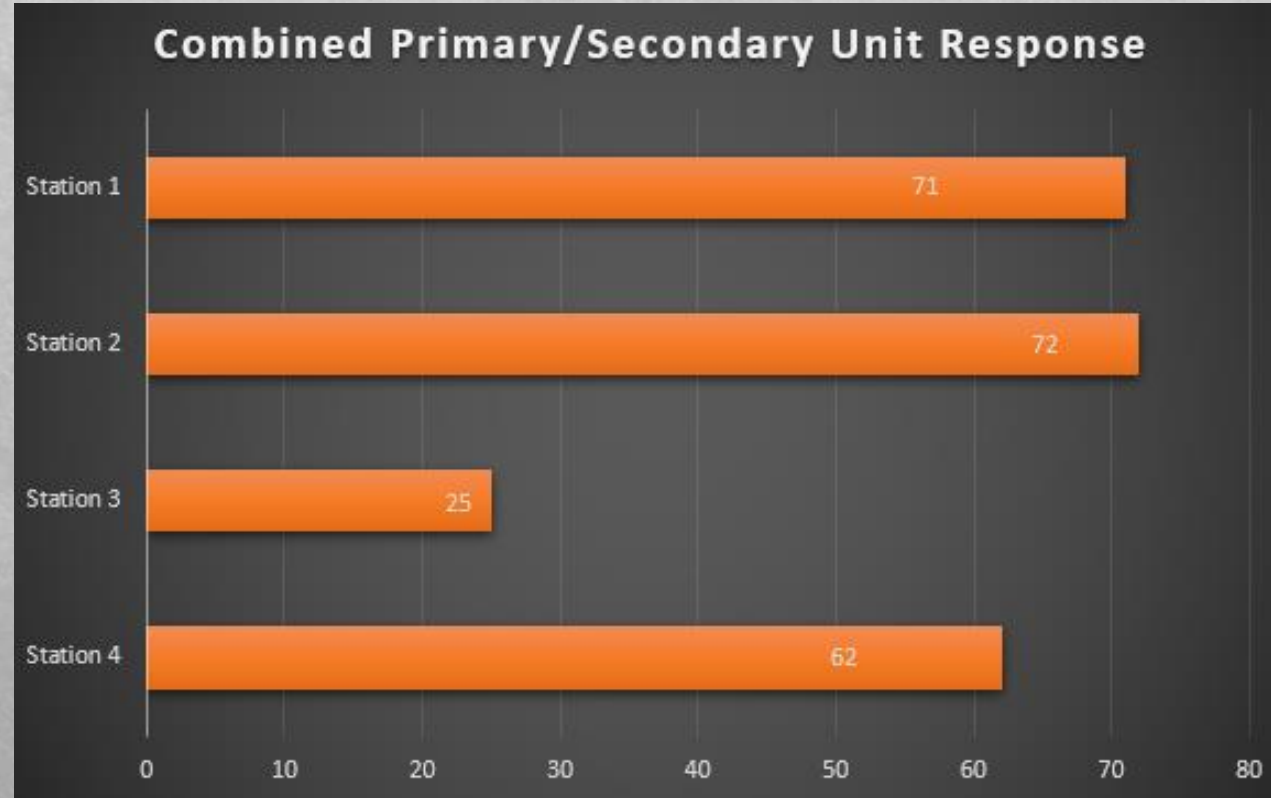
- Station 1 9
- Station 2 47
- Station 3 10
- Station 4 29



Combined Primary/Secondary Unit responses by station



- ❖ Station 1 71
- ❖ Station 2 72
- ❖ Station 3 25
- ❖ Station 4 62

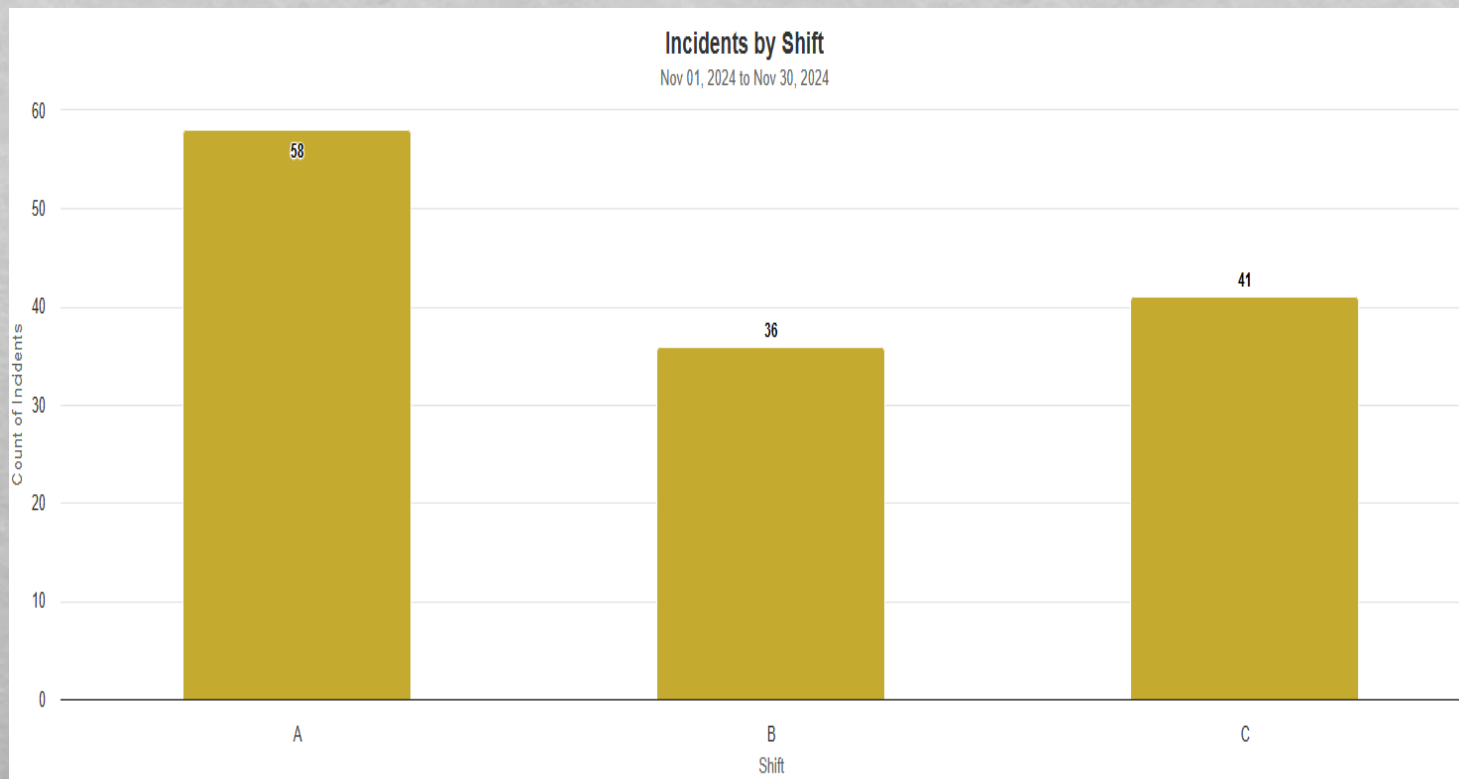


Incidents by shift



- A Shift
- B Shift
- C Shift

Prev	November 2024						Next
SU	MO	TU	WE	TH	FR	SA	
					1	2	
3	4	5	6	7	8	9	
10	11	12	13	14	15	16	
17	18	19	20	21	22	23	
24	25	26	27	28	29	30	



A Shift 58

B Shift 36

C shift 41

Significant Calls



- ❖ Units responded to a vehicle rollover on Camino Hombre de Oro, with a car found on its side down an embankment. The patient, extricated by SCSO deputies, had a left wrist deformity and pain. They refused ambulance transport and were taken to Holy Cross by a family member.
- ❖ Units were dispatched for an unresponsive and non-breathing adult female. Resuscitation efforts were initiated following cardiac arrest protocols but were terminated after confirming no change from the initial asystole rhythm.
- ❖ Units were dispatched for an 89-year-old male with a right shoulder deformity from an unwitnessed fall. Ketamine was administered for pain due to slight hypotension, and he was transported to a local hospital.
- ❖ An elderly female patient presented with severe stroke symptoms (E721, M731, M734). Units responded with emergency traffic, and Life Net 6 was launched to the dedicated landing zone. Crews attended to the patient's needs and successfully transported her to Banner Hospital for definitive care within 27–30 minutes. Well done,

Six Tips To Help Prevent Falls

More than one in four people age 65 years or older fall each year, yet many falls can be prevented.

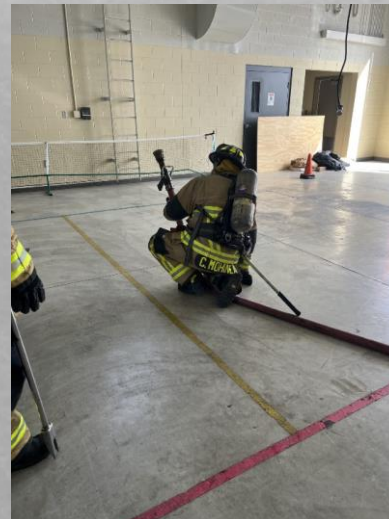
- Talk with your health care provider about medication side effects
- Do strength and balance exercises
- Get your vision and hearing checked regularly
- Make your home safer by using night lights, installing grab bars in the bathroom, and securing carpet to the floors
- Stand up slowly to avoid dizziness
- Use a cane or walker if you need more stability

Learn more about reducing your risk of falling at www.nia.nih.gov/falls-prevention.

NIH National Institute on Aging

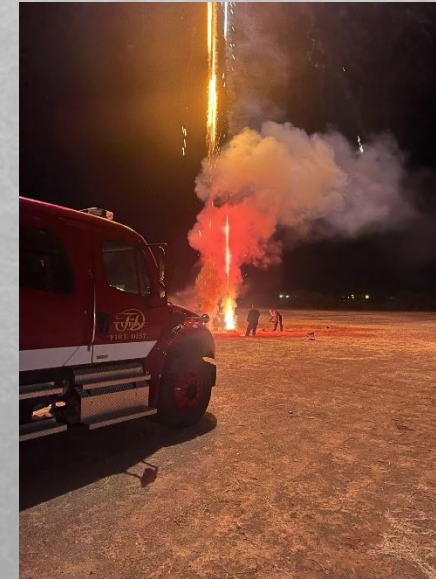
Training

- Probationary Firefighters attend Base hospital Supraglottic Airway training as well as EMT IV certification.
- Testing Firefighter Breath Down Course
- Ground Monitor Training
- A Shift received an orientation to Aerial Ladder operations
- Nozzle Forward
- Hazmat 8 step and Chemistry refresher



Public Education/Fire Prevention and Events

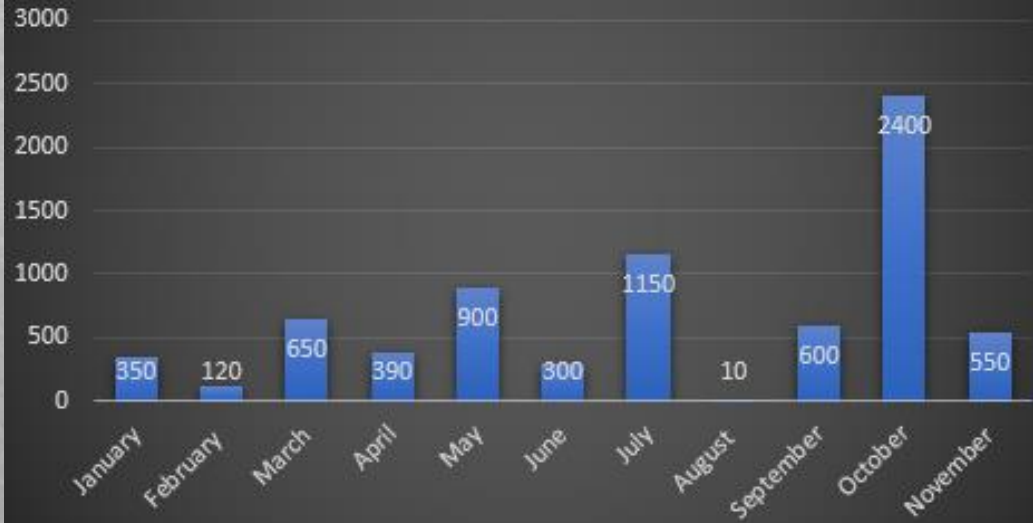
- ❖ Tubac Fire, Santa Cruz County Emergency Management, and The Tubac Firefighter Union participated at the Amado Chili Cook Off
- ❖ Tubac Fire Provided fire standby for fireworks show
- ❖ CPR classes continue all month in English and Spanish



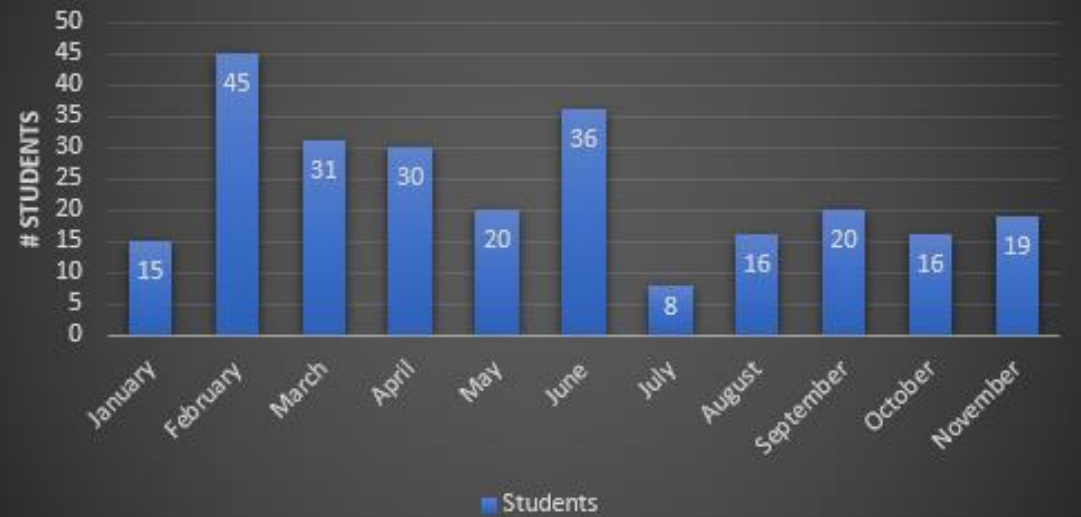
Fire Prevention and CPR Classes



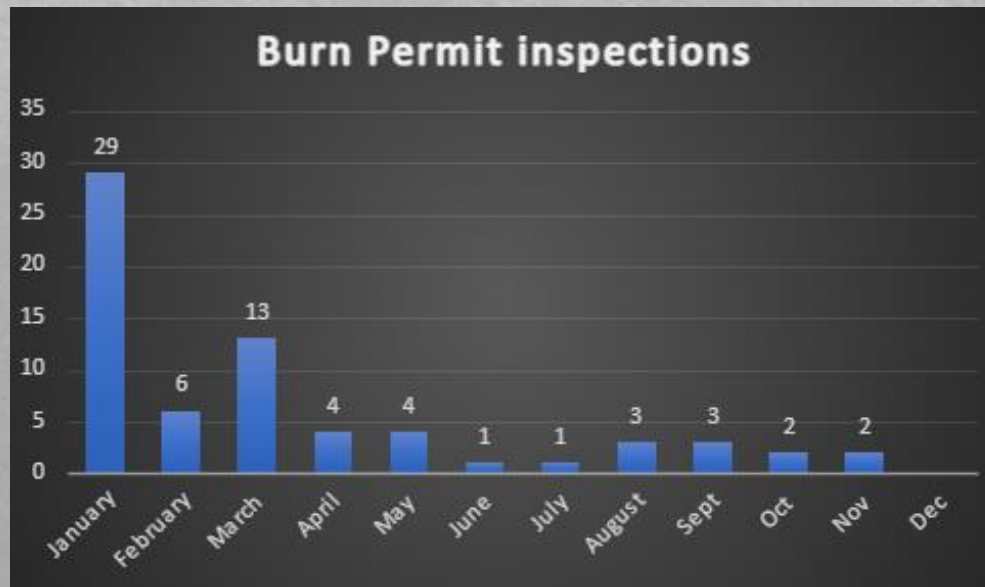
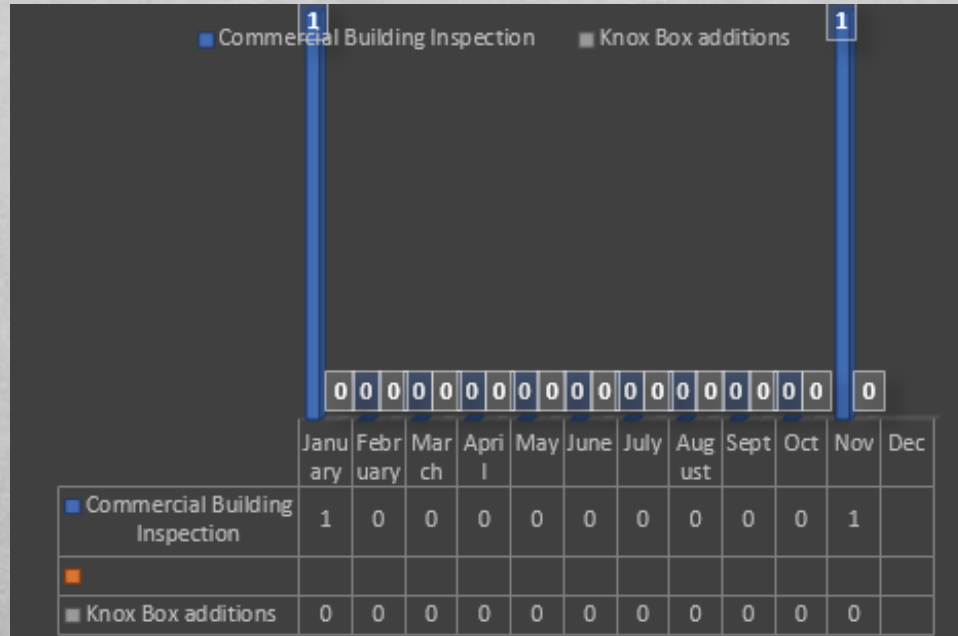
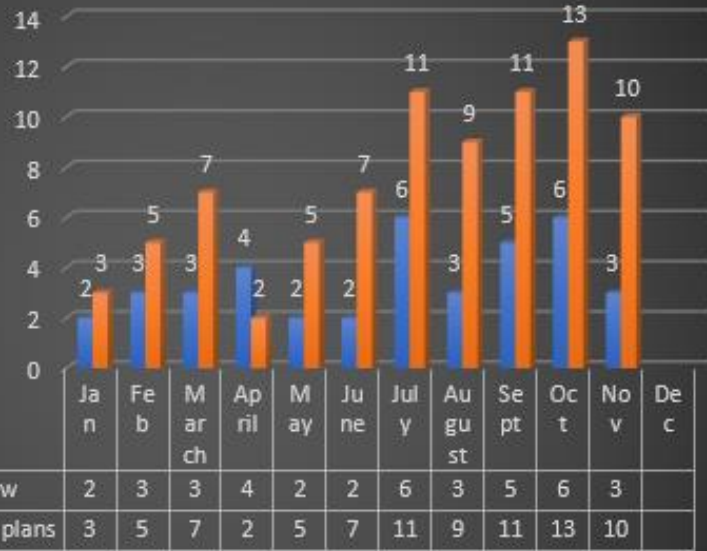
Fire Prevention Students



CPR Students 2024



Plans Review & Inspections

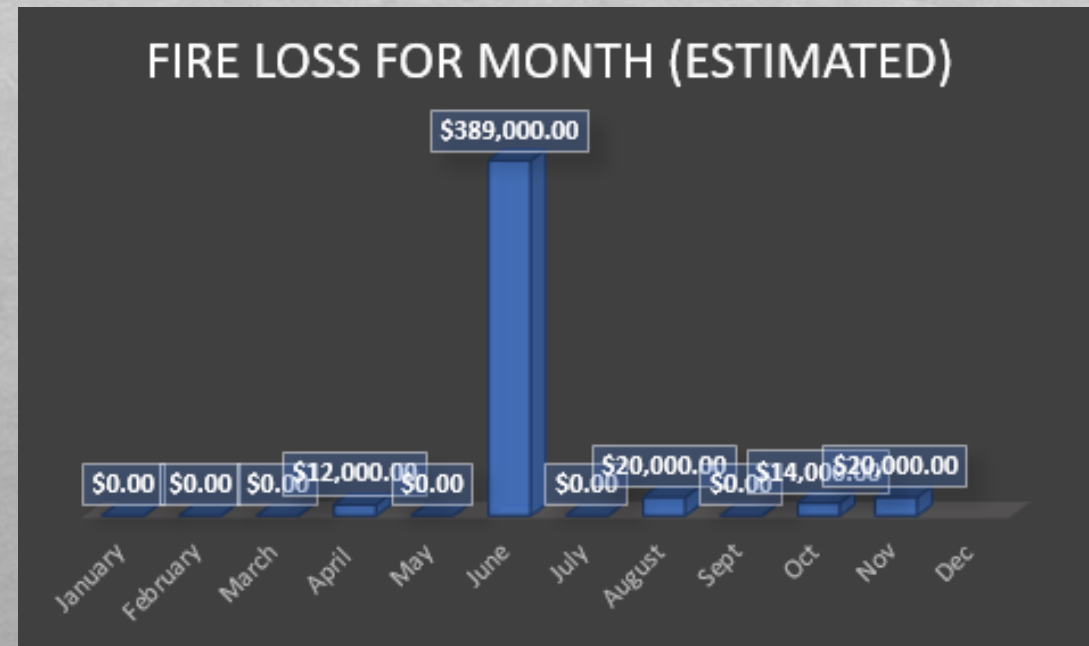




Maintenance Requests



Fire Loss Due To Incident



Board Action Request

SUBJECT: Recoating the roof of station #3

DATE: December 11, 2024

FROM: Captain John Conger

Background: Tubac fire has been in the process of keeping up building maintenance for the last 5 years. Part of the maintenance is recoating the flat roofs; it is in the capital improvement plan. It is time to recoat station #3 roof. It has been 5 years since this roof has been done.

Fiscal Impact: There is \$20,000 in the capital improvement plan for this project.

Alternate Option: Board Recommendation

Staff Recommendation: Staff Recommends we contract Lynch Roofing

Proposed Motion: Move to approve the proposal from Lynch Roofing at an amount not to exceed

\$13,179.66

See Attachments



Lynch Roofing
 3611 South Broadmont
 Drive,
 Tucson, AZ 85713
 Phone: (520) 576-3808

Roofing recoat

11/13/2024
 Claim Information

Company Representative
 Sam Miller
 Phone: (520) 860-1436
 sam@lynchroofingaz.com

John Conger
Tubac Fire Dept Station
 333 Camino Josefina
 Rio Rico, AZ 85648
 (520) 398-2255

Roofing recoat

Clean all debris from roof
 Power wash entire roof with power washer and surface cleaner attachment
 Allow 1-2 days for surface area to dry
 Patch cracks/ damaged areas with 6"- 48" woven polyester reinforcement fabric infused with premium elastomeric patching compound
 Three course seal around all roof penetrations (skylights, scuppers, pipe jacks, roof vents, etc.)
 Install self adhered rolled roofing in trouble spots for additional durability and leak protection (if applicable)
 Apply two coats of T.R.C #7000 coating per product application requirements from the manufacture
 Clean job site on and off the roof
 Dispose all waste
 Crew leader to perform final walk/inspection with the homeowner to ensure 100% satisfaction, quality and cleanliness

T.R.C Preferred Contractor

12 year manufacturer warranty
 6 year workmanship warranty

- Cash/check Payments:
 A 15% discount will be applied to all cash or check payments

- Credit/debit Payments:
 All payments made with credit or debit cards will receive the 15% cash discount but will be subject to a 4% processing fee. We accept all major credit cards

- Our Financing Options:
 0 payments, 0 interest if paid in full within 24 months
 0% interest/ 4 years
 6.99% interest/ 7 years
 6.99% interest/ 10 years
 6.99% interest/ 15 years

\$15,505.48

Sub Total	\$15,505.48
Discount: Cash/Check Discount	(\$2,325.82)
TOTAL	\$13,179.66

TERMS & CONDITIONS

Binding Contract: This Estimate is valid for 30 days. During said 30 days the Estimate is subject to change or revocation by Contractor without notice. Except to the extent Contractor exercises its right to change and/or revoke the Estimate, the Estimate shall constitute a binding agreement "Agreement" upon acceptance by Owner(s). The date of such Agreement shall be the date of Owner(s)' acceptance.

Contractor: Shall mean Lynch Roofing

Contract Price: Shall mean the Estimate Price as adjusted by the net of any written change orders and/or unforeseen damages.

Payment of Funds and Deposits: Except as otherwise agreed between Owner(s) and Contractor, Owner(s) agrees to pay Contractor the Contract Price in cash, check, or credit card equivalents, according to the following schedule: 50% deposit due once the job is scheduled, the remaining 50% is due upon completion (no later than 5 business days). Jobs utilizing financing provided by Lynch Roofing do not require a deposit and will be invoiced when the job is complete.

PROPOSAL



(520) 578-1159 * 700 W. CAMINO CASA VERDE * LIC. # 089768
BONDED GREEN VALLEY, AZ 85614 INSURED
 EMAIL: TRINITYROOFING@YAHOO.COM

DATE: December 4, 2024

PROPOSAL SUBMITTED TO:
 NAME
 Tubac Fire - John Conger
 ADDRESS
 333 Camino Josefina
 Rio Rico, AZ 85648
 PHONE
 520-398-2255

WORK TO PERFORMED AT:
 NAME
 ADDRESS
 same as left
 PHONE

We hereby propose to furnish material and perform the labor necessary for completion of:
 General maintenance and apply TWO coats TRC Elastomeric white roof coating on flat roof, install membrane where coating is peeling.

- 1) Pressure wash roofing to be recoated. Allow to dry.
- 2) Seal penetrations (pipes, vents, skylights, scuppers, breaks etc.) as needed using crack and joint sealant /membrane.
- 3) Install membrane where coating is peeling.
- 4) Apply one coat Elastomeric white roof coating. Allow to dry.
- 5) Apply second coat Elastomeric, white roof coating to roof.
- 6) Clean worksite and remove debris

All work is guaranteed to be as specified, and the above work to be performed and completed in a substantial workmanlike manner for the sum of:
TWENTY-THREE THOUSAND, NINE HUNDRED, & FIFTY ----- Dollars \$ 23,950.00
with payment to be made as followed: *upon completion*

RESPECTFULLY SUBMITTED BY – *Jimmy Moreno*

5 YEAR WARRANTY ON ROOF COATING AGAINST PEELING & LIFTING PER MANUFACTURERS LIMITED WARRANTY. 2 YEAR LEAK WARRANTY ON SPECIFICALLY DESCRIBED LEAKS ABOVE.
Note: Due to the increasing price of materials, this proposal may be withdrawn by us if not accepted within 30 days.
 Any alterations or deviation from the above specifications involving extra costs will be executed only upon written order and will become an extra charge above the estimate. This bid does not include repair to standing water unless specifically addressed above. Homeowner responsible for requesting standing water repair bid. All agreements contingent upon accidents or delays beyond Trinity company's control. Refer any unresolved complaints over \$1000 to AZ Registrar of Contractors (520) 628-6345.

* ACCEPTANCE OF PROPOSAL

The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do work. Payment will be made as outlined above.

Date: _____ Signature(s) _____
 * If accepting this proposal, please sign and return one copy. No work will be performed without a signed proposal.



Pima Roofing LLC

"Family Owned and Operated"

Residential & Commercial Roofing

ROC # 337274

pimaroofting@gmail.com

933 W Calle Evelina

Tucson, AZ 85706

(520) 274-5722

Proposal

Date: 11/26/2024

John Conger
(520)260-4041

jconger@tubacfire.org

JOB SITE:

333 Camino Josefina Rio Rico
AZ 85648

We Propose hereby to furnish material and labor -complete in accordance with specifications below, for the sum of Twenty-Three Thousand Two Hundred and Eighty-One Dollars with Forty-Four Cents.
44/100*** (23,281.44)**

We only accept Credit/Debit cards, Checks, Cash and Zelle.

Keep a copy for your records and return signed and dated to us. All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. All agreements contingent upon strikes, accidents or delay beyond our control. Warranty only covers our workmanship, not against natural disasters.

Note: This proposal may be withdrawn by us if not accepted within 14 days.

Authorized Signature: Carlos Meraz
Carlos Meraz, (520) 274-5722

Restoration

1. At this address, the roof is in need of maintenance.
2. The roof will be power washed and dried with a leaf blower.
3. A heavy coat of 7000 rubberized brand paint and a layer of 39in. fabric will be applied.
4. A second heavy coat of white 7000 rubberized brand paint will be applied for reinforcement. Will be applied with roller not a sprayer.
5. All protrusions will be sealed with crack and joint #264 and fabric.

6. A 5-year warranty only covers our workmanship, not against natural disasters.
7. All debris will be removed from the premises.

TERMS: 1/2 deposit of \$ _11,640.72_ upon acceptance and remaining balance of \$ _11,640.72_ due one day before completion.

Acceptance of this proposal - If there is default of payment and this account is referred to an attorney or collection agency, you agree to pay all court costs, attorney or collection fees. The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do work as specified. **Payment will be made as outlined above.** Add 3.5 % to all cost for credit card purchases. Repairs or any alterations to the work scope described above made by another contractor/homeowner will lead to the cancellation of any warranty. Damage to the roof caused by alterations made after the completion, including structural changes. Improper equipment installation, fire, application of cleaning solutions or any Other modifications that affect the roof will **NOT** be warranted by Pima Roofing LLC. Structural movement that causes the failure of the underlying roof structure and or the settlement of the deck walls and the foundation over which the roof is installed will also **NOT** be warranted by Pima Roofing LLC.

Please be aware due to the constant changes in prices of material price may vary per proposal.

Signature _____ Date: _____

Needs

R.A.D
ROOFING & CONSTRUCTION, LLC
P.O. BOX 711, Green Valley, AZ 85622

Rene Matus owner
 Cell: 520-444-5765
 Office: 520-625-1190
 ROC #201293-K-42

Proposal Submitted to: John Conger	Phone: 520-398-2255	Date: 11.21.2024
Street: 333 Camino Josefina	Alt. Contact Info/ Other:	
City State & Zip Code: Rio Rico, AZ 85648		
Memo: JConger@tubacfire.org	Sq. Ft.	Job No:

Proposal for Repair and Recoat

1. Pressure wash, rinse and prep.
2. Cut down ALL drains and apply fabric seal in 3 course fashion.
3. Reseal all penetrations using brush grade sealant.
4. Apply 40" polyester fabric in front of all drains
5. Apply polyester fabric to cracks or low areas as needed. To protect form peeling and allow for proper adhesion.
6. Apply polyester fabric to cracks on parapet walls only as needed.
7. Apply TWO coats of WHITE elastomeric roof coating @ 1 -1.5 gallons per 100 sq.ft.
 (Allowing 24 hours of try time between coats)

Clean Premises

\$ 18,800.00

07 YR Renewable Warranty & 07 YR Workmanship
 Coating warranty from manufacturer
 Warranty does not cover third party damage and or Acts of God
 * We Offer free Guarantee of Warranty transfers. *
 * Free Yearly Inspections, as needed for the term of the Warranty. *

R.A.D Payment Terms: 50% Down, Balance due on completion.

DUE AT SIGNING : \$ 9,400.00

BALANCE DUE UPON COMPLETION: \$ 9,400.00

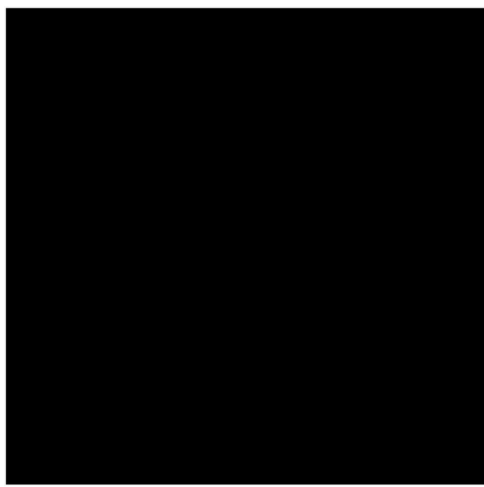
Exceptions to proposed total: Any alterations or deviations from above specifications involving extra cost will be executed only upon written orders and will become an extra charge over and above estimate. _____ initials

Acceptance of proposal: The above prices, specifications, and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Note: This proposal may be withdrawn by RAD Roofing if not accepted within 45 days. Submitted on: 11.08.2024

Authorized Signature: _____ Date: ____/____/2024

Thank You!



Breckenridge
 g r o u p
 a r c h i t e c t s
 p l a n n e r s

1735 e ft. lowell rd. #12
 tucson arizona 85719
 520.882.9944

Tubac Fire Station #1

2227 I-19 Frontage Rd., Tubac, Arizona 85646

95% Construction Documents

NOVEMBER 2024

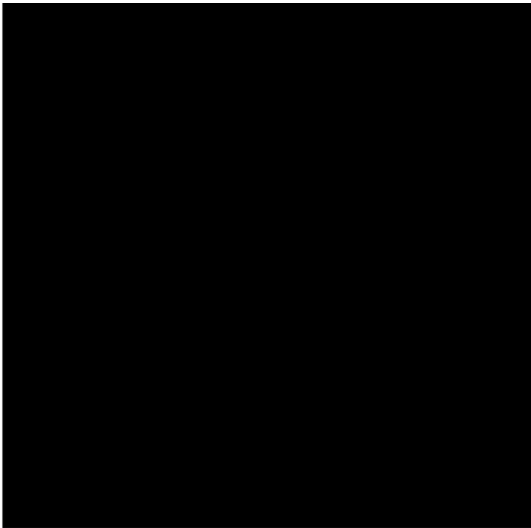
Tubac Fire Station #1
 2227 I-19 Frontage Rd., Tubac, AZ 85646
 95% Construction Documents

NOT FOR
 CONSTRUCTION

PROJECT NO:
 23.21.00
 DATE:
 NOVEMBER 2024

#	DATE	DESCRIPTION	ISSUED TO

DRAWN BY: JGG
 CHECKED BY: CDA
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY ARCHITECTS OF BRECKENRIDGE GROUP ARCHITECTS/PLANNERS, OR DESIGNATED CONSULTANTS.
 ARCHITECTURAL DRAWINGS AND DESIGNS ARE SAFEGUARDED BY THE FEDERAL COPYRIGHT ACT. ANY UNAUTHORIZED USE, REPRODUCTION, OR DISTRIBUTION OF THIS DRAWING, WHETHER IN WHOLE OR IN PART, IS EXPRESSLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.
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Breckenridge
 g r o u p
 a r c h i t e c t s
 p l a n n e r s

Cover Sheet
T10

SYMBOLS LEGEND

SYMBOLS LEGEND content including Building Section, Wall Section, Exterior Elevation, Interior Elevation, Detail Reference, Floor Plan, Section or Detail Identification, Keynotes, Openings, and Wall Type symbols.

MATERIALS

MATERIALS content listing various construction materials like Existing Wall Removed, Earth, Concrete, Brick, Wood Studs, etc., with corresponding hatching patterns.

ABBREVIATIONS

ABBREVIATIONS table listing various construction abbreviations such as A.B. ANCHOR BOLT, ALUM ALUMINUM, BRG BEARING, etc.

PROJECT TEAM

PROJECT TEAM content including Project Address (Fire Station No.1), Client/Owner (Tubac Fire District), Owner Contact (Ben Guerrero), Architect (Breckenridge Group Architects and Planners), Civil Engineer (Engineering and Environmental Consultants - CEC), Structural Engineer (Martin, White & Griffis Structural Engineers, Inc.), Electrical Engineer (M3 Engineering & Technology), and Contractor (D.L. Norton General Contracting, Inc.).

SPECIAL INSPECTIONS

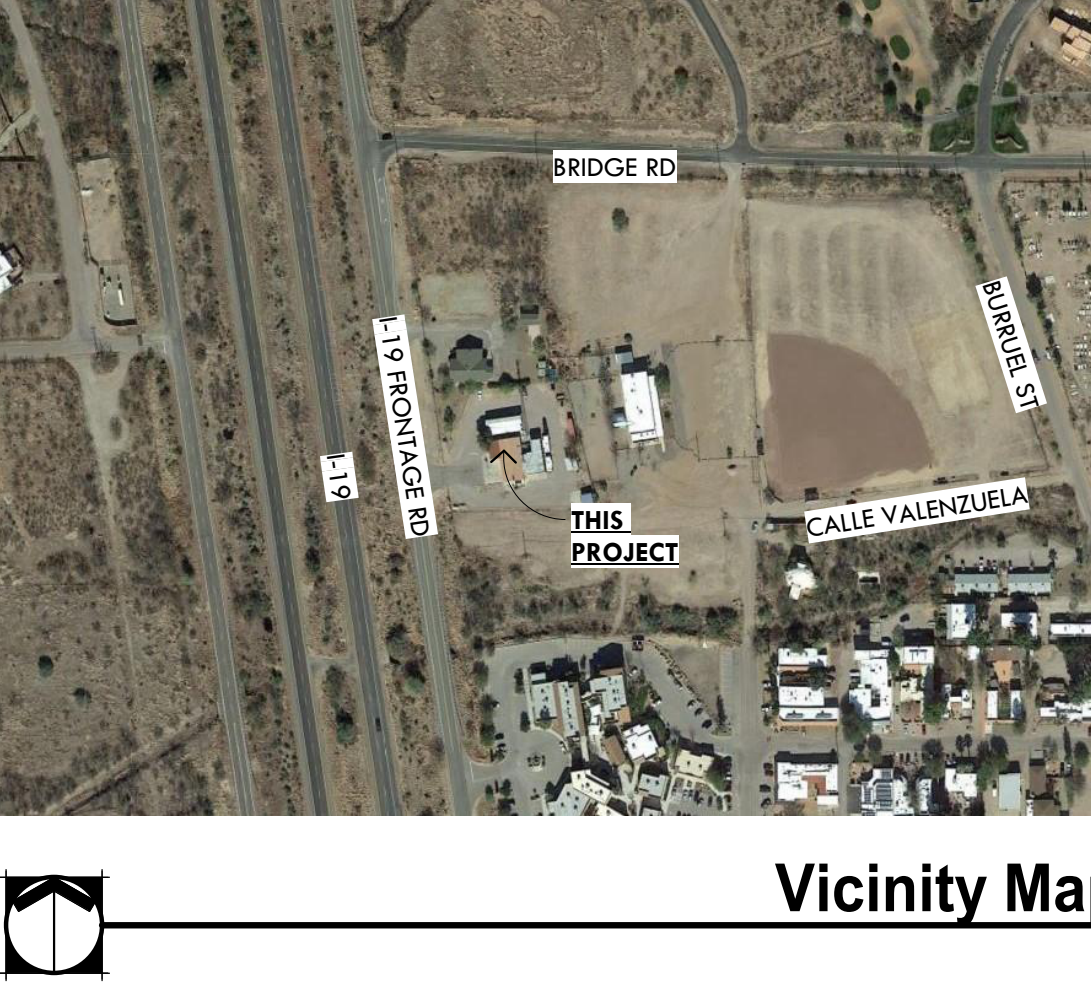
SPECIAL INSPECTIONS content including AS Required by Section 1704 of the International Building Code 2012 Edition and a list of inspection items.

DRAWING INDEX

DRAWING INDEX table listing drawing titles and sheet numbers, such as T1.0 COVER SHEET, L1.0 LANDSCAPE NOTES, A1.0 ARCHITECTURAL SITE PLAN, etc.

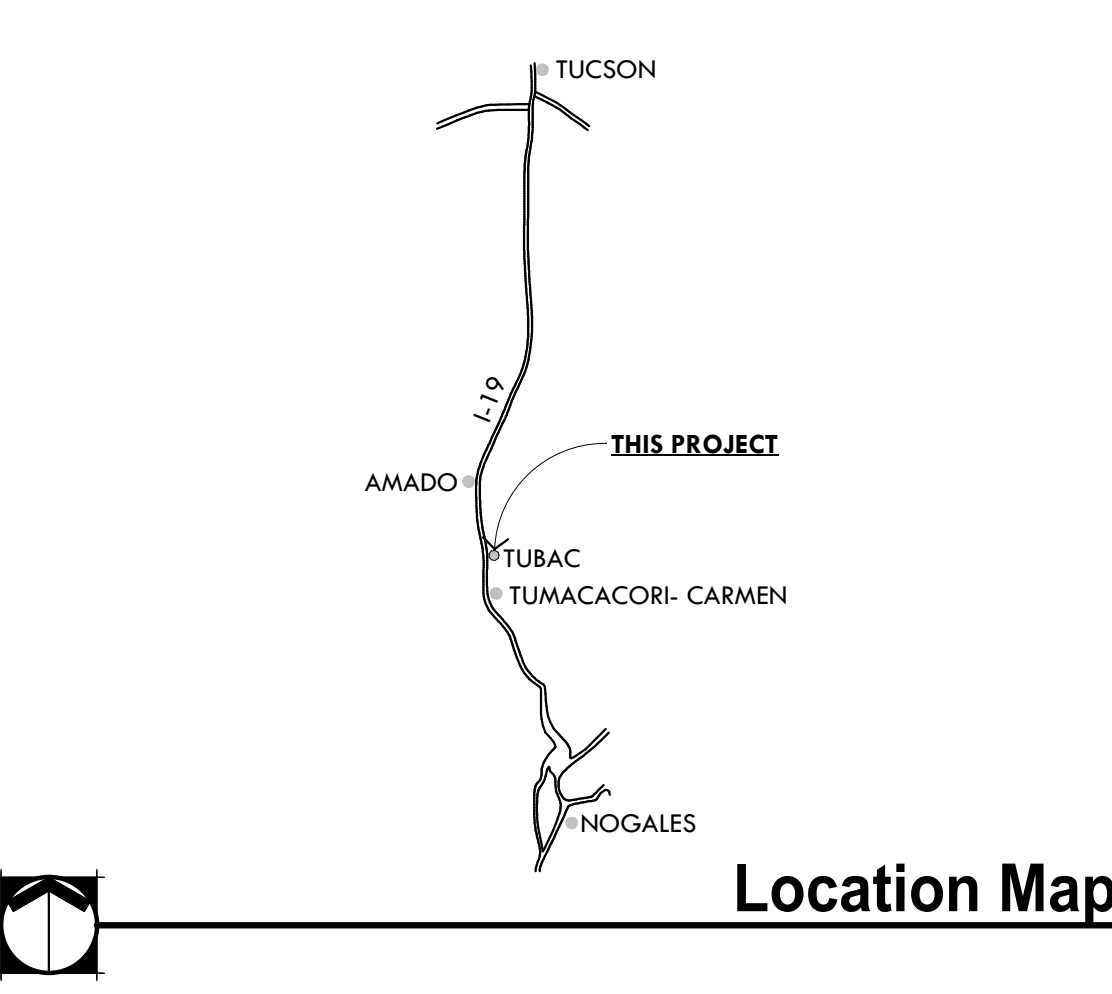
DEFERRED SUBMITTALS

DEFERRED SUBMITTALS content including Per Section 106.3.4.1 and 106.3.4.2, and Anticipated Deferred Submittals (Fire Alarm System, Fire Protection System).



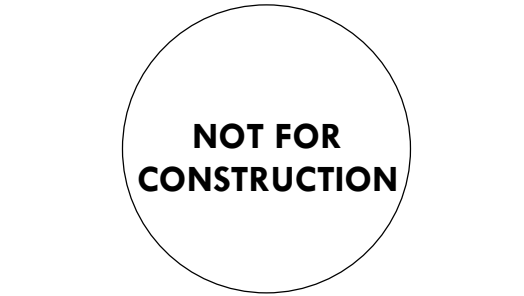
PROJECT CODE DATA

PROJECT CODE DATA content including Governing Municipality (Santa Cruz County), Applicable Codes (2012 International Building Code, etc.), and Revision Schedule.



Breckenridge Architects & Planners logo and contact information: 1735 e ft. lowell rd. #12, Tucson arizona 85719, 520.882.9944.

Tubac Fire Station #1, 2227 I-19 Frontage Rd., Tubac, AZ 85646, 95% Construction Documents.

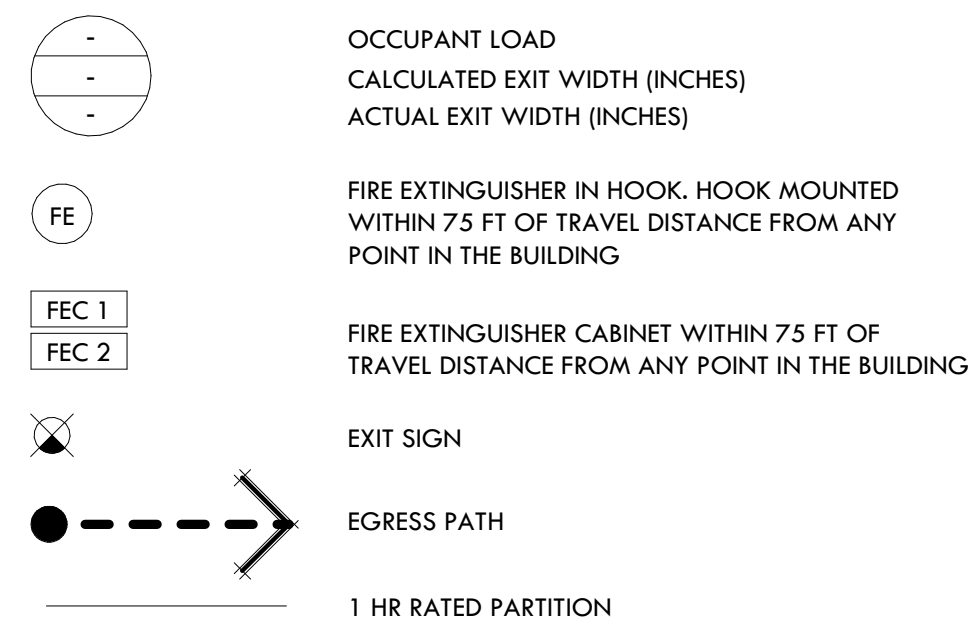


PROJECT NO: 23.21.00, DATE: NOVEMBER 2024, REVISION SCHEDULE table.

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General Information and T2.0 logo.

Exiting Legend



Project Code Data

DESCRIPTION	IBC 2012 SECTION	IBC 2012 REQUIREMENTS	COMPLIANT
BUILDING HEIGHT AND AREA LIMITATIONS	SECTION 503, TABLE 503		
FIRESTATION BUILDING			
TYPE OF CONSTRUCTION	VB		
TUBULAR BUILDING AREA	9,000		
BUILDING HEIGHT	2- STORY		
BUILDING AREA MODIFICATIONS	SECTION 506		
BUILDING AREAS SHALL BE PERMITTED TO BE	$A_a = \{A_t + [A_t \times I_f] + [A_t \times I_s]\}$		
INCREASED DUE TO FRONTAGE & AUTOMATIC SPRINKLER PROTECTION	$A_a = \text{ALLOWABLE BUILDING AREA}$ $A_t = \text{TUBULAR BUILDING AREA / STORY}$ $I_f = \text{AREA INCREASE FACTOR DUE TO FRONTAGE}$ $I_s = \text{AREA INCREASE DUE SPRINKLER PROTECTION}$ $A_a = \{14,500 + [14,500 \times 2]\} = 43,500$		
INCIDENTAL USE SEPARATION AND/OR PROTECTION	SECTION 509.2	INCIDENTAL USES SHALL NOT BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1	y
FIRE- RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS	SECTION 601, TABLE 601 CONSTRUCTION TYPE VB	PRIMARY STRUCTURAL FRAME 0 EXTERIOR BEARING WALLS 0 INTERIOR BEARING WALLS 0 EXT. NONBEARING WALLS 0 INT. NONBEARING WALLS 0 FLOOR CONSTRUCTION 0 ROOF CONSTRUCTION 0	y
MAXIMUM AREA OF EXTERIOR WALL OPENING BASED ON THE FIRE SEPARATION DISTANCE	SECTION 705, TABLE 705.8	NOT REQUIRED	y
VERTICAL SEPARATION OF OPENINGS	SECTION 705.8.5	THIS SECTION DOES NOT APPLY TO BUILDINGS THAT ARE THREE STORIES OR LESS ABOVE GRADE	y
SHAFT ENCLOSURES	SECTION 713.4 FIRE RESISTANCE RATED	1 HR WHERE CONNECTING LESS THAN FOUR STORIES	y
AUTOMATIC SYSTEM	SECTION 903.2.3	NOT REQUIRED	y
MINIMUM STAIR WIDTH	TABLE 1005.3.1	0.2 INCH X OCCUPANT	y
REQUIRED CAPACITY BASED ON OCCUPANCY LOAD	TABLE 1005.3.1	0.2 INCH X OCCUPANT	y
MINIMUM DOOR WIDTH	TABLE 1005.3.2	0.15 INCH PER OCCUPANT	y
MAXIMUM TRAVEL DISTANCE BEFORE COMMON PATH OF EGRESS	TABLE 1014.3	100 FEET	y
EXIT TRAVEL DISTANCE	TABLE 1016.2	250 FEET	y
CORRIDOR FIRE- RESISTANCE RATING	TABLE 1018.1	WITH SPRINKLER SYSTEM 0.5	y
MINIMUM CORRIDOR WIDTH	TABLE 1018.2	44 INCHES MECHANICAL, PLUMBING, ELECTRICAL= 24 INCHES	y
DEAD END CORRIDORS	TABLE 1018.4	NOT EXCEED 50 FEET	y

Occupancy Loads - Mixed Use Non-separated Construction

Number	BUILDING Name	AREA	OCCUPANCY		LOAD FACTOR	
			IBC 2012 Chapter 3	Occupancy Type	IBC 2012 Table 1004.1.2	
101	LOBBY	105 SF	1	B	100	
102	OPEN OFFICE	658 SF	7	B	100	
103	CONFERENCE ROOM	285 SF	3	B	100	
104	IT	55 SF	1	B	100	
105	FIRE CHIEF	164 SF	2	B	100	
106	ASSISTANT CHIEF	102 SF	1	B	100	
107	BREAK	120 SF	1	B	100	
108	WOMEN'S	83 SF	0	B	100	
109	MEN'S	83 SF	0	B	100	
110	F.F STUDY	231 SF	1	B	200	
112	KITCHEN/ DAYROOM	726 SF	3	B	200	
113	FITNESS	404 SF	8	B	50	
114	OFFICE	90 SF	1	B	100	
115	AIRLOCK	51 SF	0	B	200	
TOTAL:			31			
116	SHOWER	73 SF	0	R2	200	
117	SHOWER	73 SF	0	R2	200	
118	HALL	259 SF	0	R2	200	
119	DORM	114 SF	1	R2	50	
120	DORM	115 SF	1	R2	50	
121	DORM	115 SF	1	R2	50	
122	DORM	115 SF	1	R2	50	
123	STOR.	23 SF	1	R2		
124	DORM	115 SF	1	R2	50	
125	MED STO.	87 SF	1	R2	300	
126	MECH. ROOM	81 SF	1	R2	200	
TOTAL:			8			
127	APPARATUS BAYS	4044 SF	20	S1	200	
128	GENERAL STORAGE	69 SF	1	S1	300	
129	TURN-OUT ROOM	226 SF	1	S1	300	
130	ELECTRIC	112 SF	1	S1	300	
131	FIRE RISER	40 SF	0	S1		
TOTAL:			23			

GROUP S
AREA = 483 S.F.
ACCESSORY TO GROUP S-1
ACTUAL OCC. = 4

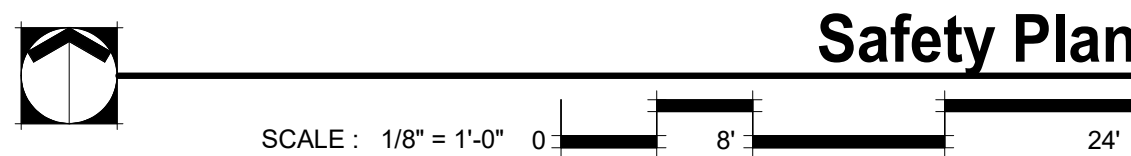
GROUP S-1
AREA = 4098 S.F.
AREA/ OCCP. = 200
OCC. = 20

GROUP B
AREA = 1809 S.F.
AREA/ OCCP. = 100
OCC. = 18

GROUP B
AREA = 1529 S.F.
AREA/ OCCP. = 100
OCCP. = 15

GROUP R-2
AREA = 576 S.F.
ACCESSORY TO GROUP B
ACTUAL OCCP. = 5

GROUP R-2
AREA = 697 S.F.
AREA/ OCCP. = 200
OCCP. = 3



Breckenridge
g a r c h i t e c t s
p l a n n e r s

1735 e ft. lowell rd. #12
tucson arizona 85719
5 2 0 . 8 8 2 . 9 9 4 4

Tubac Fire Station #1
2227 I-19 Frontage Rd., Tubac, AZ 85646
95% Construction Documents

NOT FOR CONSTRUCTION

PROJECT NO:
23.21.00
DATE:
NOVEMBER 2024
REVISION SCHEDULE:
DATE DESCRIPTION ISSUED TO

DRAWN BY: JCG
CHECKED BY: GDA
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Code Check
Egress Plan

T3.0

Project Code Data

Envelope PASSES: Design 0% better than code

Envelope Compliance Statement
Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application.

Kind D Breckenridge - Principal
Name Title Signature Date



Project Title: Tubac Fire Station No.1
Data filename: C:\Users\Assen\Sagynova\Breckenridge Group Architects Planners\2023 - Projects\23.21.00 Tub Page 4 of 13
Fire Station No. 1|Tubac Fire Station #1-Legaretta.cck

Table with columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, Proposed U-Factor, Budget U-Factor. Lists various wall and ceiling assemblies like R1 East wall 3, R2 East wall 1, etc.

Project Title: Tubac Fire Station No.1
Data filename: C:\Users\Assen\Sagynova\Breckenridge Group Architects Planners\2023 - Projects\23.21.00 Tub Page 3 of 13
Fire Station No. 1|Tubac Fire Station #1-Legaretta.cck

(a) Budget U-factors are used for software iterative calculations. ONE Y, and are not code requirements.
(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

Table with columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, Proposed U-Factor, Budget U-Factor. Lists various roof and skylight assemblies like Station (b), ROOF 2 Bay, etc.

Project Title: Tubac Fire Station No.1
Data filename: C:\Users\Assen\Sagynova\Breckenridge Group Architects Planners\2023 - Projects\23.21.00 Tub Page 2 of 13
Fire Station No. 1|Tubac Fire Station #1-Legaretta.cck

COMcheck Software Version 4.1.5.5
Envelope Compliance Certificate

Project Information
Energy Code: 2018 IECC
Project Title: Tubac Fire Station No.1
Location: Santa Vista, Arizona

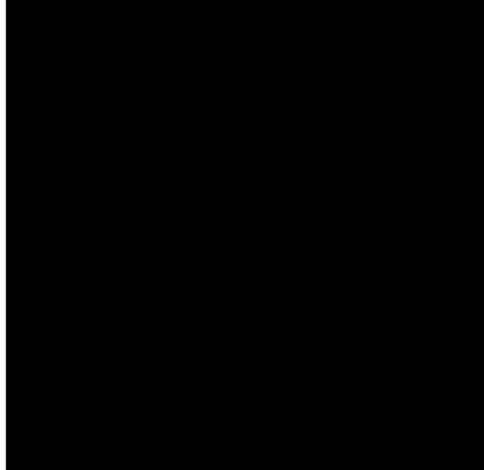
Construction Site: 2227 I-19 Frontage Rd., Tubac, AZ 85646
Owner/Agent: Ben Guerrero, Tubac Fire District 2227 I-19 Frontage Road, Tubac, AZ 85646, 5202091362

Additional Efficiency Package(s)
Credits: 1.0 Required, 1.0 Proposed
Entrained Interior Lighting Controls, 1.0 credit

Table with columns: Building Area, Floor Area. Shows 1-Fire Station (Fire Station) / Nonresidential with a floor area of 6654.

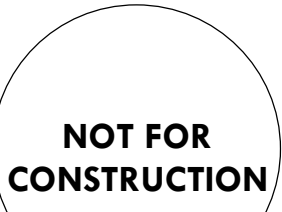
Table with columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, Proposed U-Factor, Budget U-Factor. Lists roof and skylight assemblies like ROOF 1, ABIS Roof with Wood Joists, etc.

Project Title: Tubac Fire Station No.1
Data filename: C:\Users\Assen\Sagynova\Breckenridge Group Architects Planners\2023 - Projects\23.21.00 Tub Page 1 of 13
Fire Station No. 1|Tubac Fire Station #1-Legaretta.cck



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520.882.9944

Tubac Fire Station #1
2227 I-19 Frontage Rd., Tubac, AZ 85646
95% Construction Documents



PROJECT NO: 23.21.00
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REVISION SCHEDULE: # DATE DESCRIPTION ISSUED TO

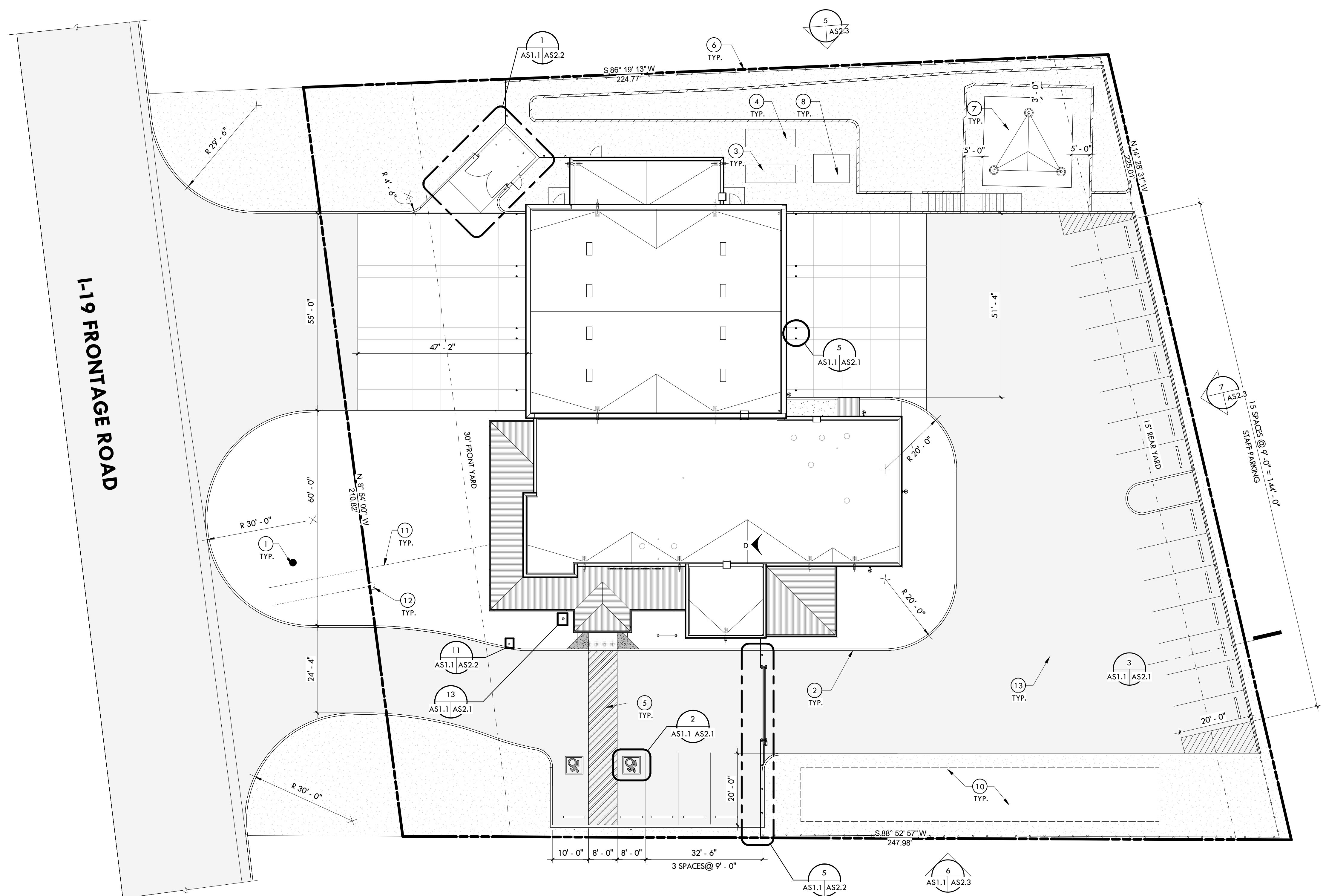
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Efficiency report & Plumbing fixtures
T4.0

PLOT DATE: 11/25/2024 4:46:12 PM



Keynotes

- ① FIRE HYDRANT
- ② VERTICAL CURB AND GUTTER
- ③ F.S. START UP GENERATOR
- ④ TOWER STARTUP GENERATOR
- ⑤ THERMOPLASTIC ASPHALT STRIPPING
- ⑥ CHAINLINK FENCE
- ⑦ COMMUNICATION TOWER PAD
- ⑧ TOWER SHELTER PAD
- ⑩ SEPTIC
- ⑪ FIRE SERVICE
- ⑫ WATER METER
- ⑬ VALLEY GUTTER

General Notes

PARCEL: 112-14-00IC
 ZONING: HB2
 FRONT YARD: 30'
 SIDE YARD: 0'
 REAR YARD: 15'

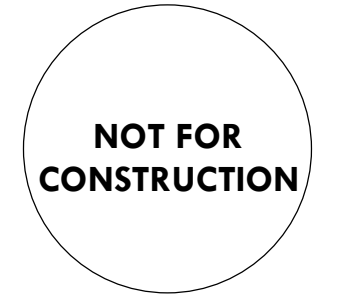
PER SANTA CRUZ COUNTY DEVELOPMENT CODE
 ARTICLE 11-1 SPACE PER 500 SQUARE FEET OF
 GROSS FLOOR AREA.
 9,654 SF/500 = 20 SPACES REQUIRED
 21 SPACES PROVIDED

VISITOR PARKING : 5 SPACES
 STAFF PARKING : 16 SPACES

Breckenridge
 g r o u p
 a r c h i t e c t s
 p l a n n e r s

1735 e ft. lowell rd. #12
 tucson arizona 85719
 5 2 0 . 8 8 2 . 9 9 4 4

Tubac Fire Station #1
 2227 I-19 Frontage Rd., Tubac, AZ 85646
 95% Construction Documents



PROJECT NO:
23.21.00

DATE:
NOVEMBER 2024

#	DATE	DESCRIPTION	ISSUED TO

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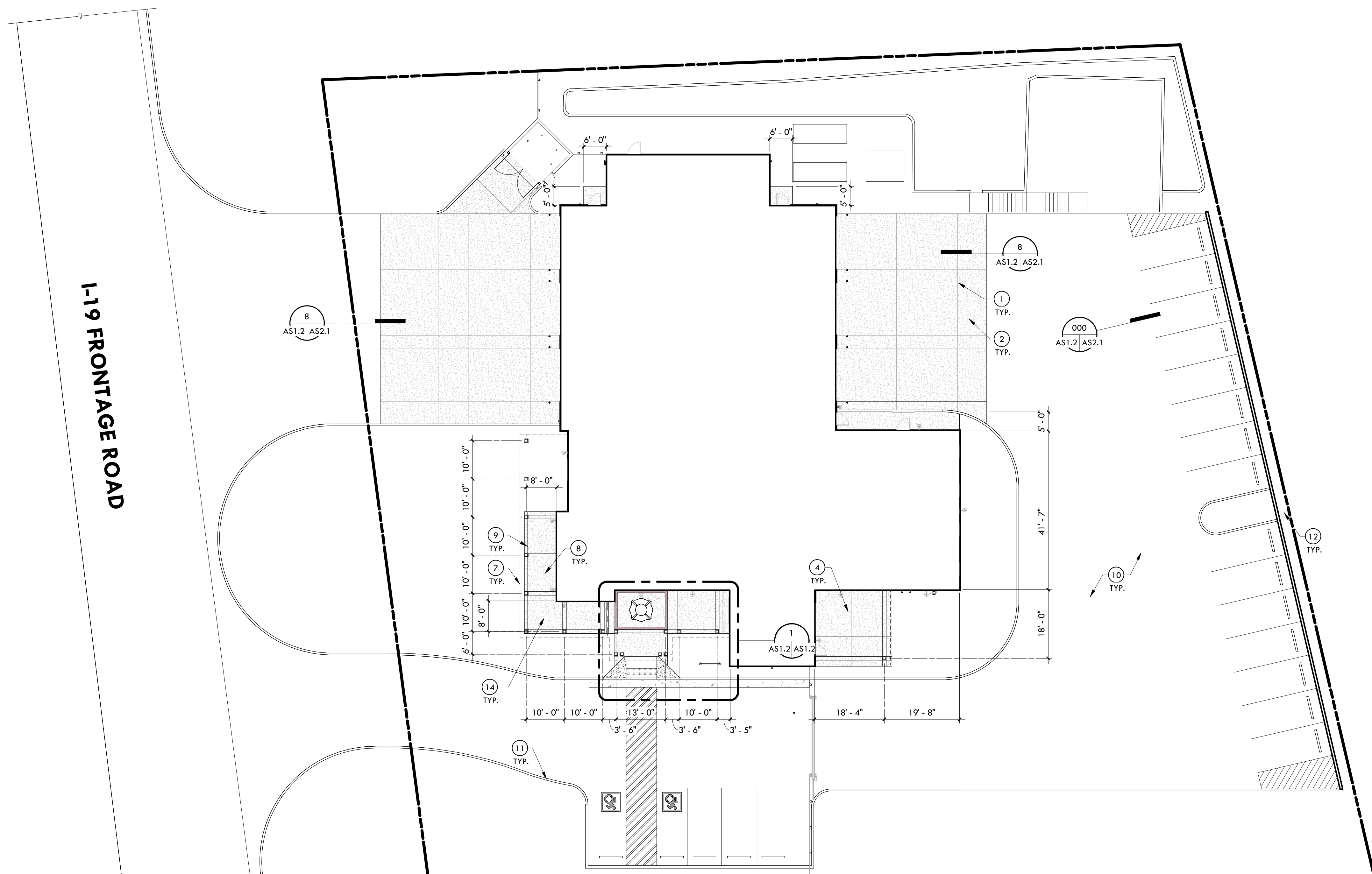
Architectural Site Plan

SCALE: 1/16" = 1'-0" 0' 16' 32'

Architectural Site Plan

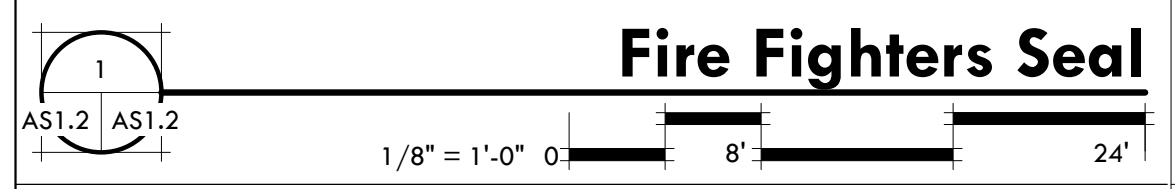
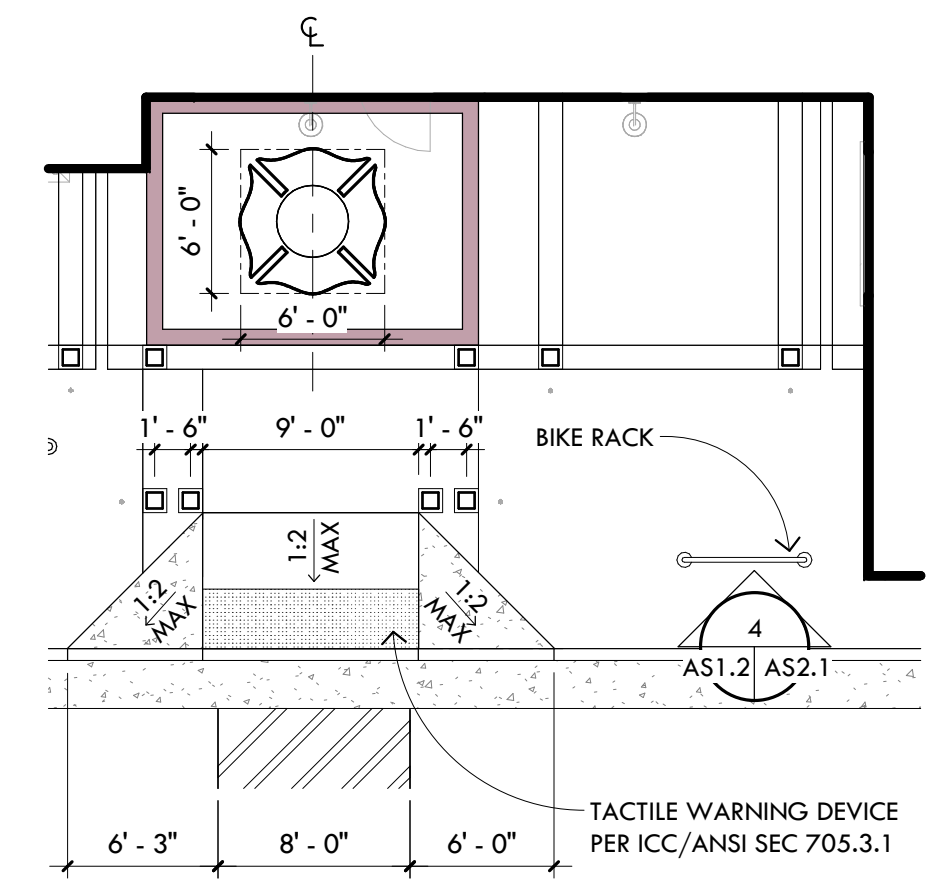
AS1.1

PLOT DATE: 11/25/2024 4:45:14 PM



Keynotes

- ① CONTROL JOINT (TYP.)
- ② CONCRETE PAVING, REFER TO CIVIL
- ④ CONCRETE PATIO
- ⑦ ROOF O.H. LINE
- ⑧ CONCRETE SIDEWALK
- ⑨ TOOLED JOINT (TYP.)
- ⑩ ASPHALT PAVING
- ⑪ CONCRETE CURB
- ⑫ RIP-RAP, REFER TO CIVIL
- ⑭ EXPOSED AGGREGATE



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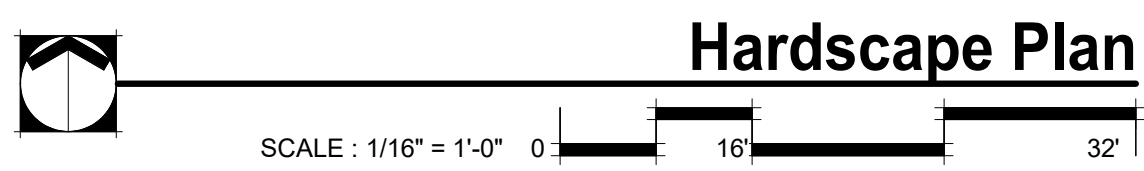
Tubac Fire Station #1
 2227 I-19 Frontage Rd., Tubac, AZ 85646
 95% Construction Documents

NOT FOR CONSTRUCTION

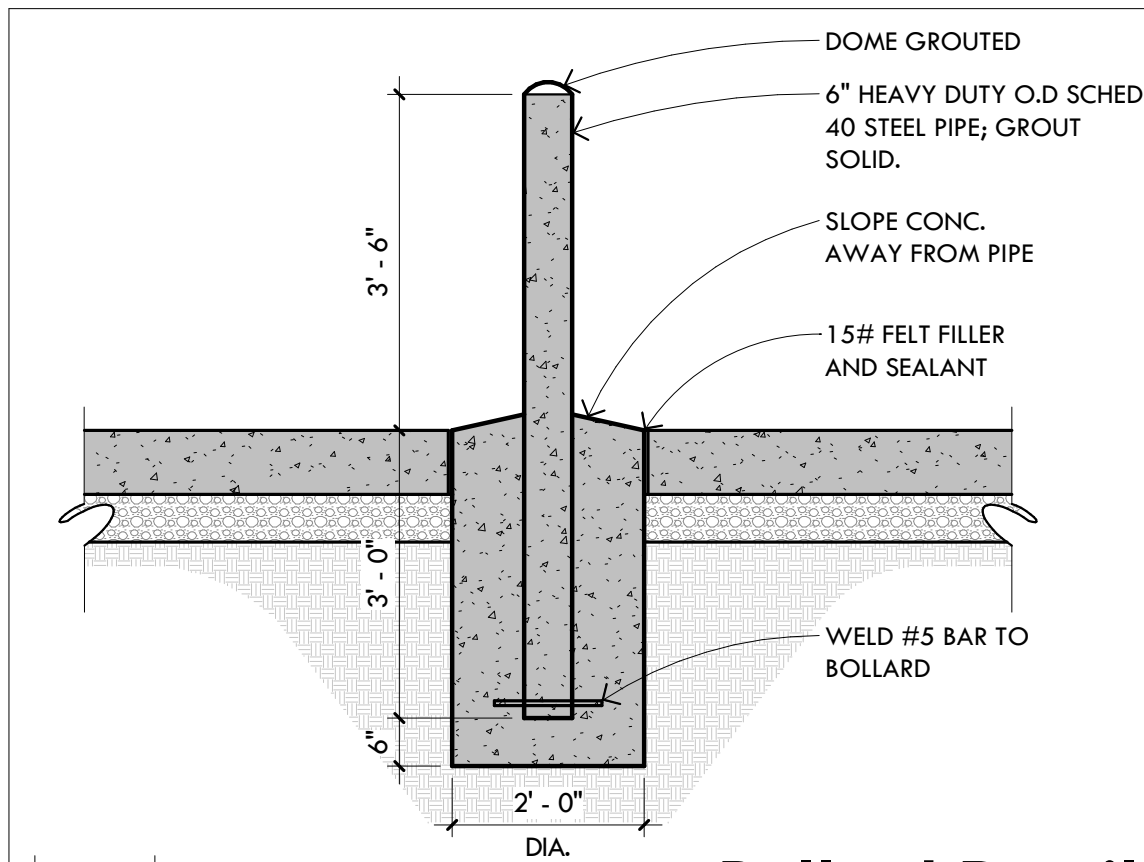
PROJECT NO: 23.21.00
 DATE: NOVEMBER 2024

#	DATE	DESCRIPTION	ISSUED TO

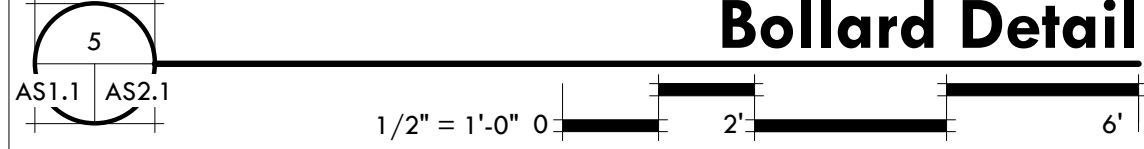
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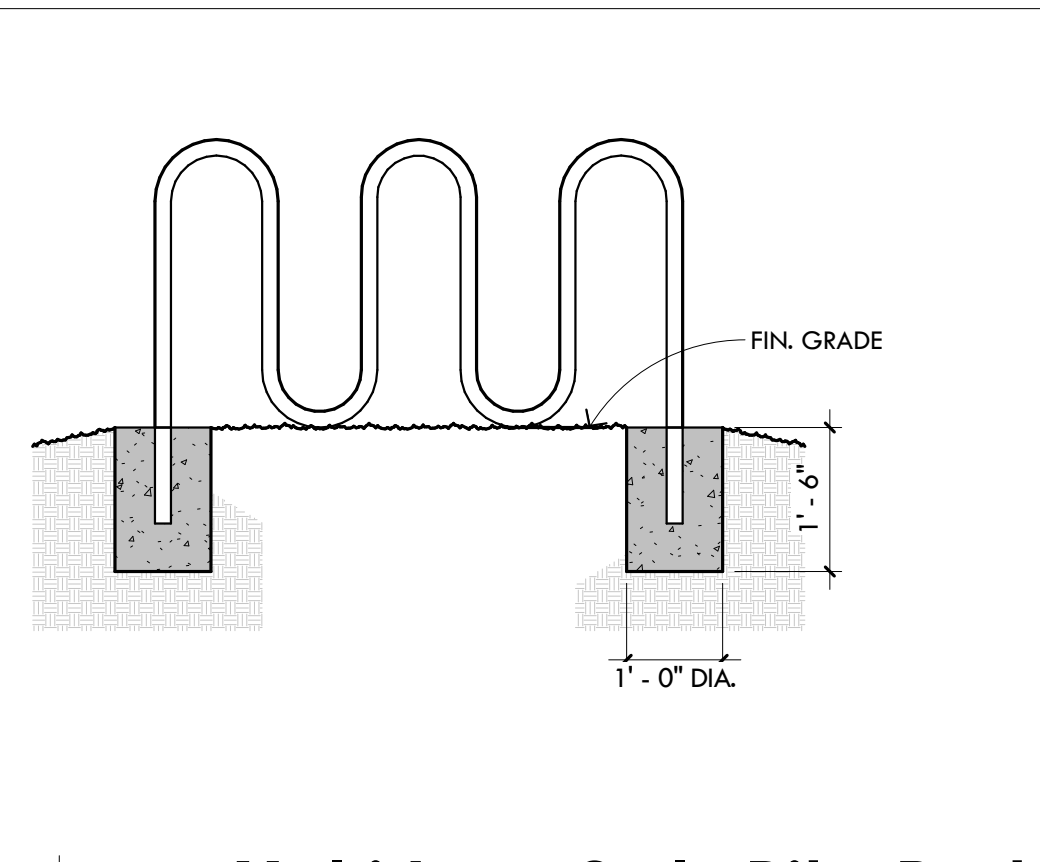
Hardscape Plan
AS1.2



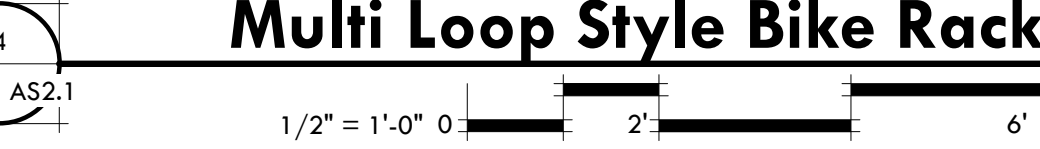
Bollard Detail



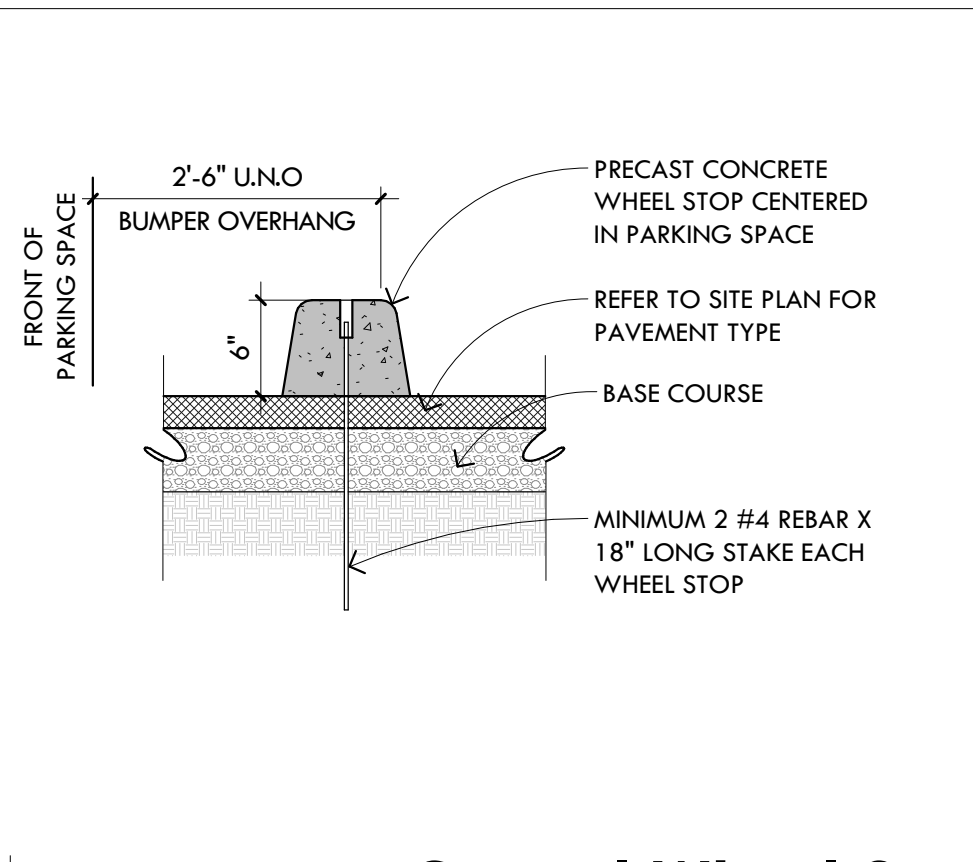
AS1.1 AS2.1



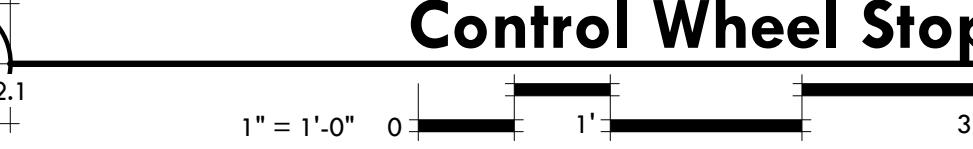
Multi Loop Style Bike Rack



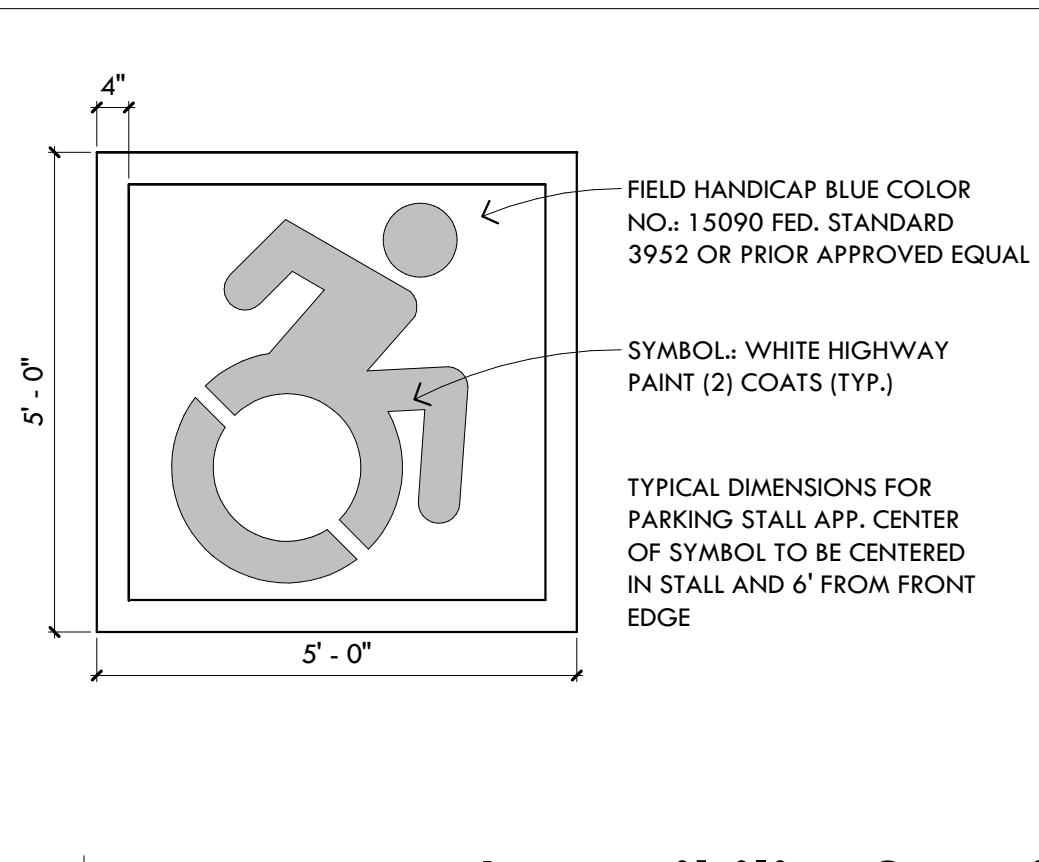
AS1.2 AS2.1



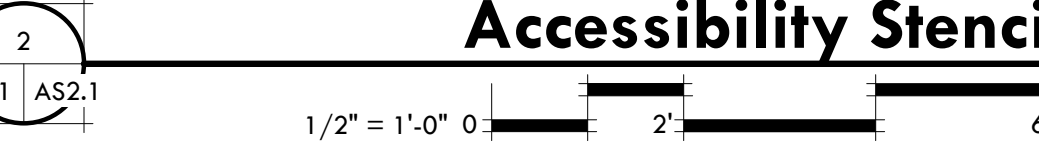
Control Wheel Stop



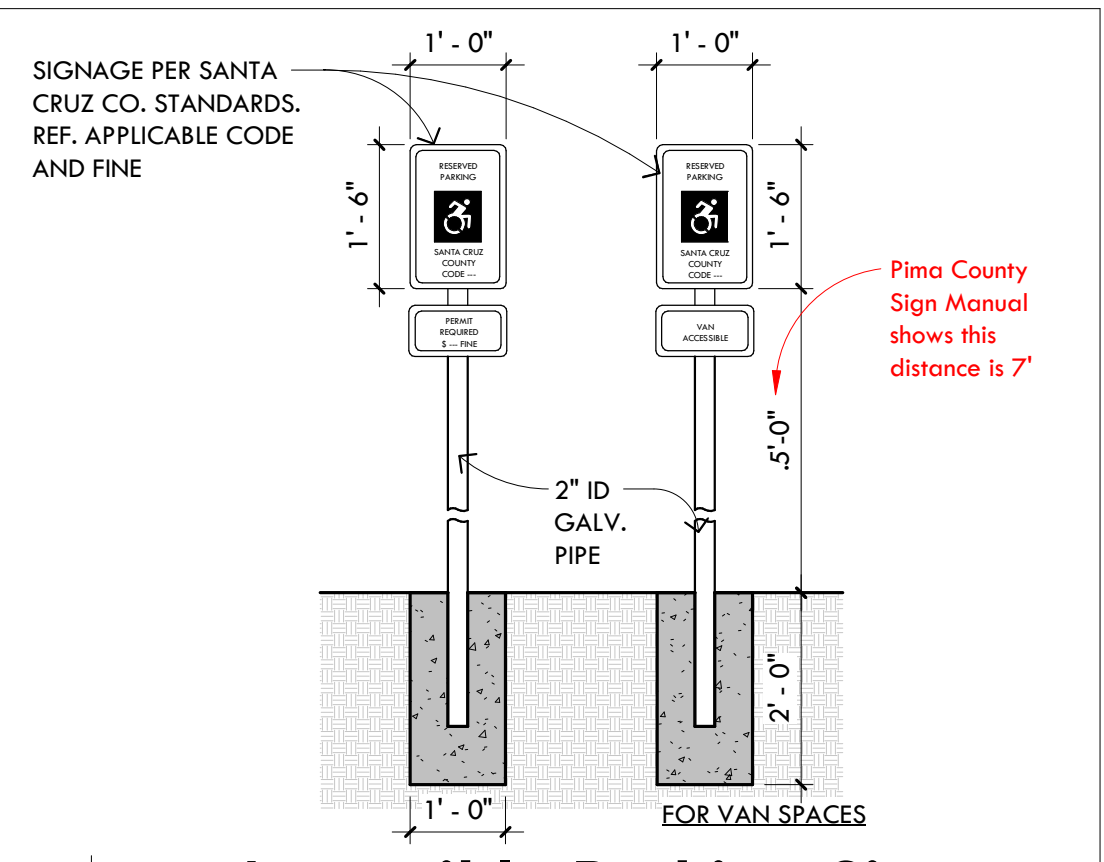
AS1.1 AS2.1



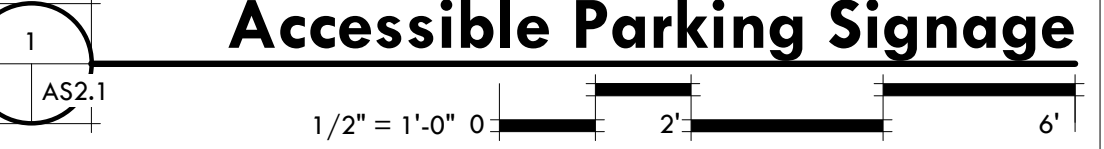
Accessibility Stencil



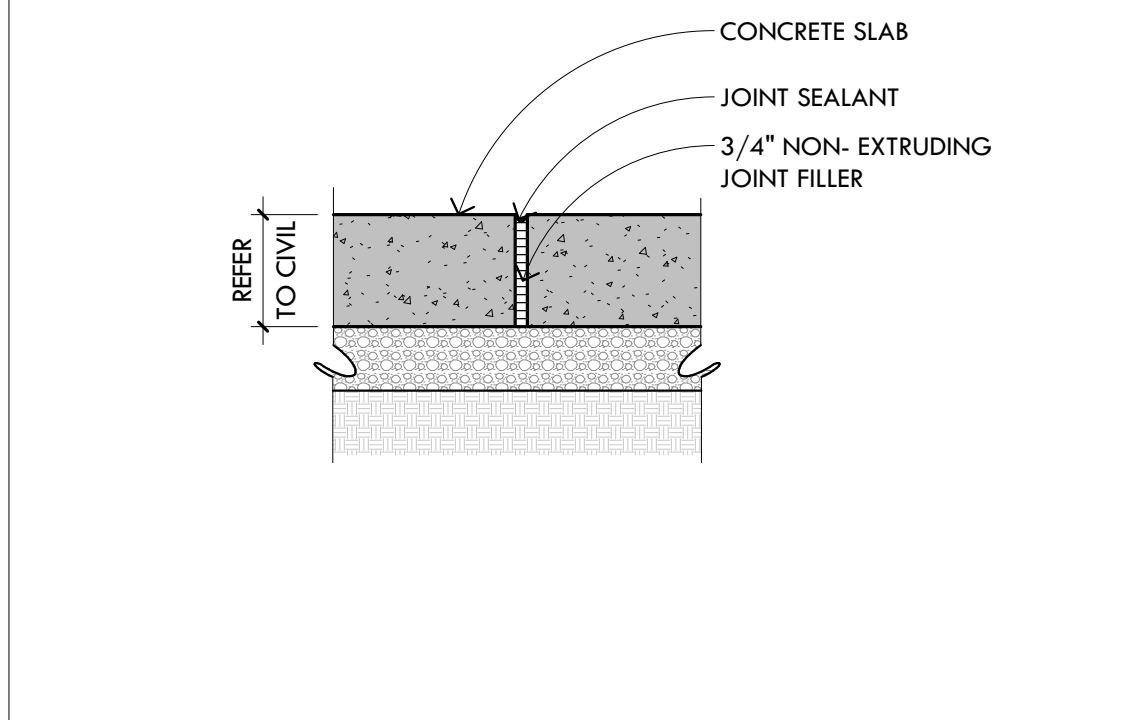
AS1.1 AS2.1



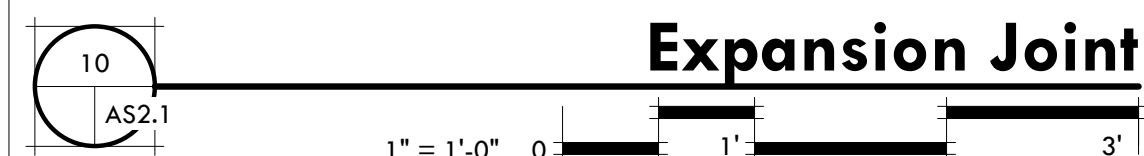
Accessible Parking Signage



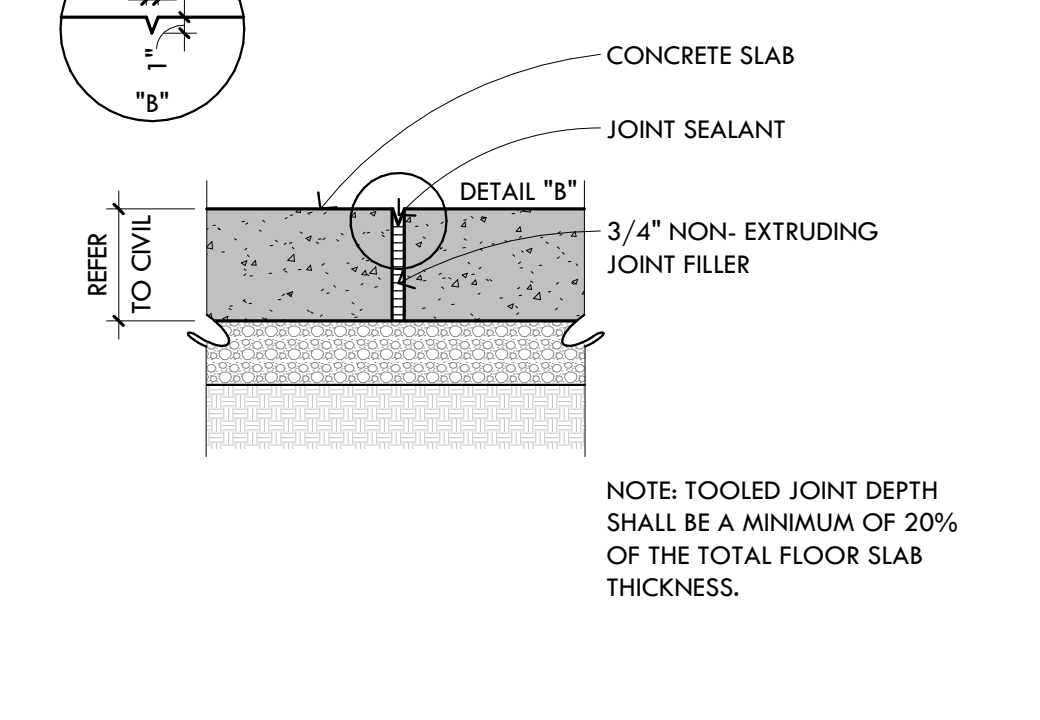
AS2.1



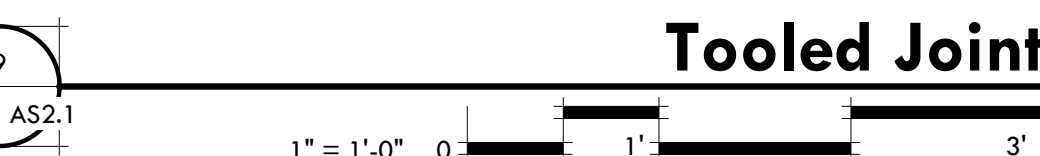
Expansion Joint



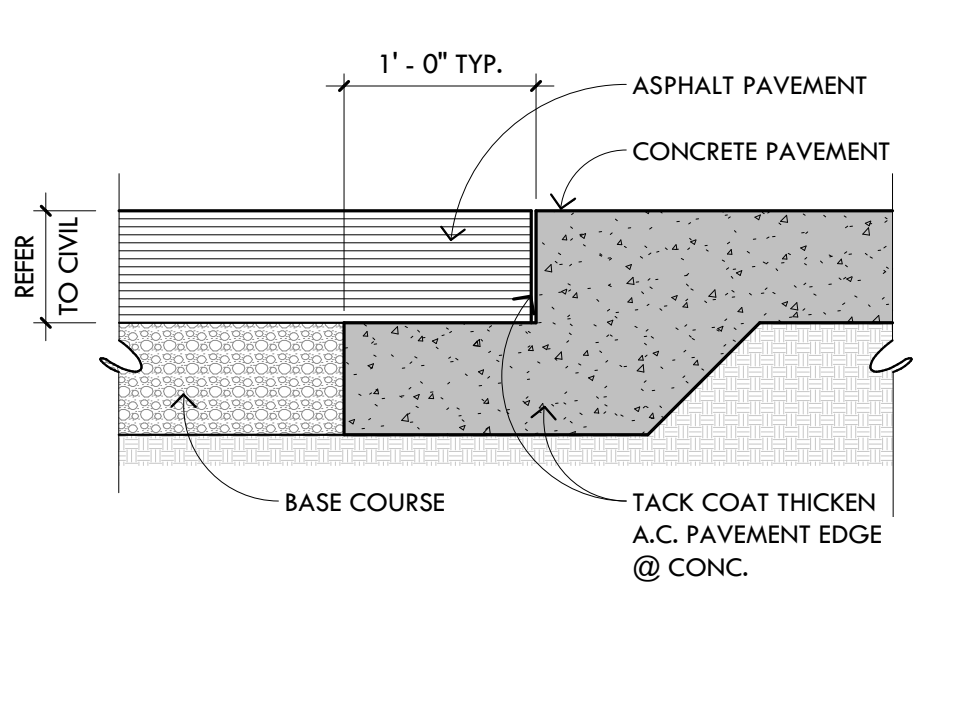
AS2.1



Tooled Joint



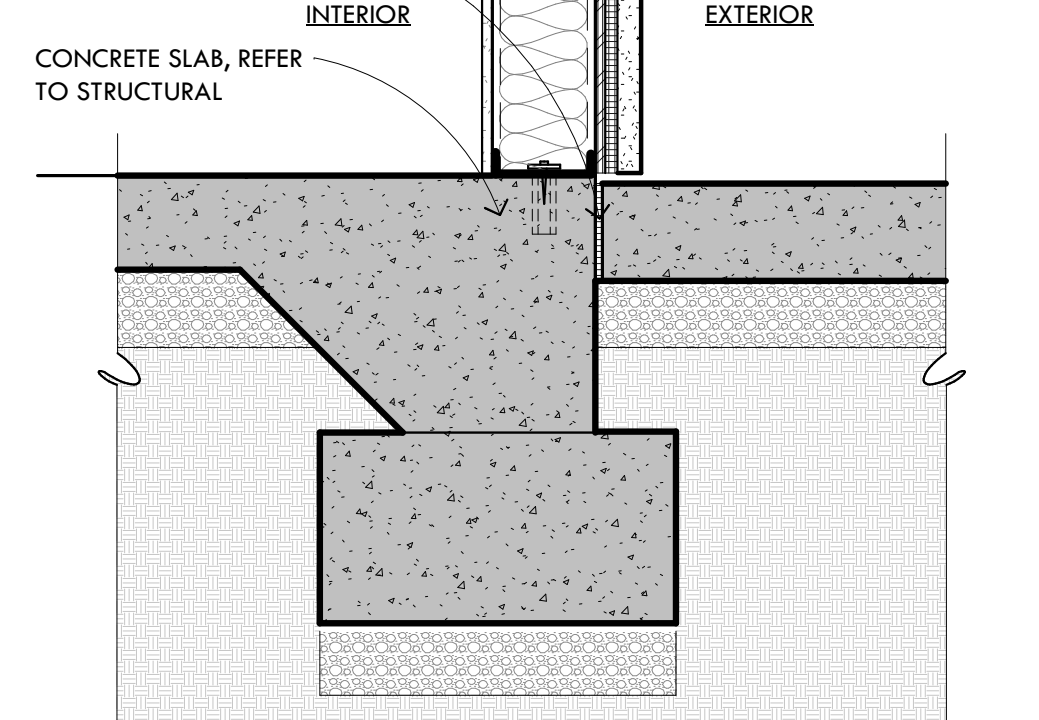
AS2.1



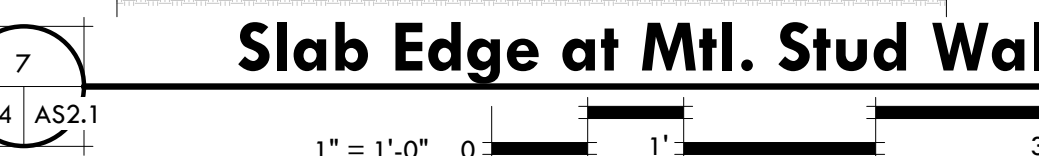
Pavement Transition



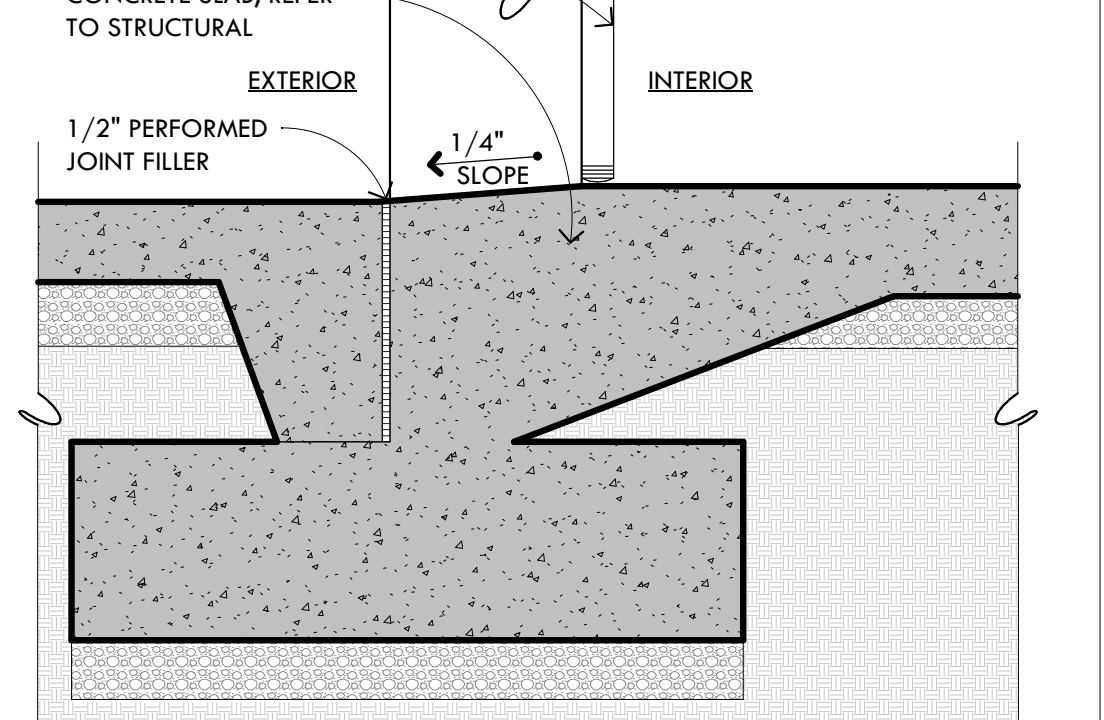
AS1.2 AS2.1



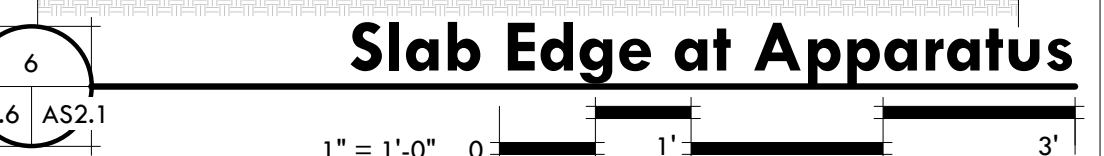
Slab Edge at Mtl. Stud Wall



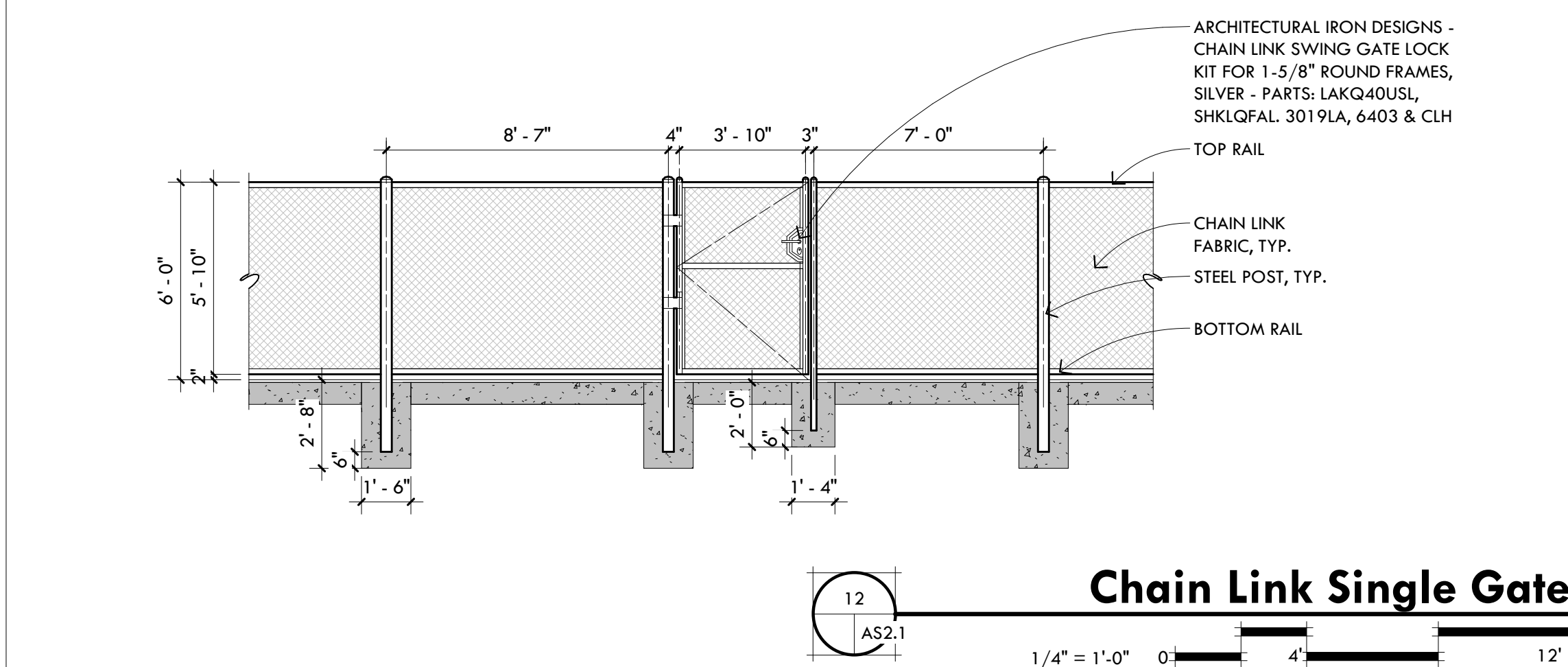
AS2.1



Slab Edge at Apparatus



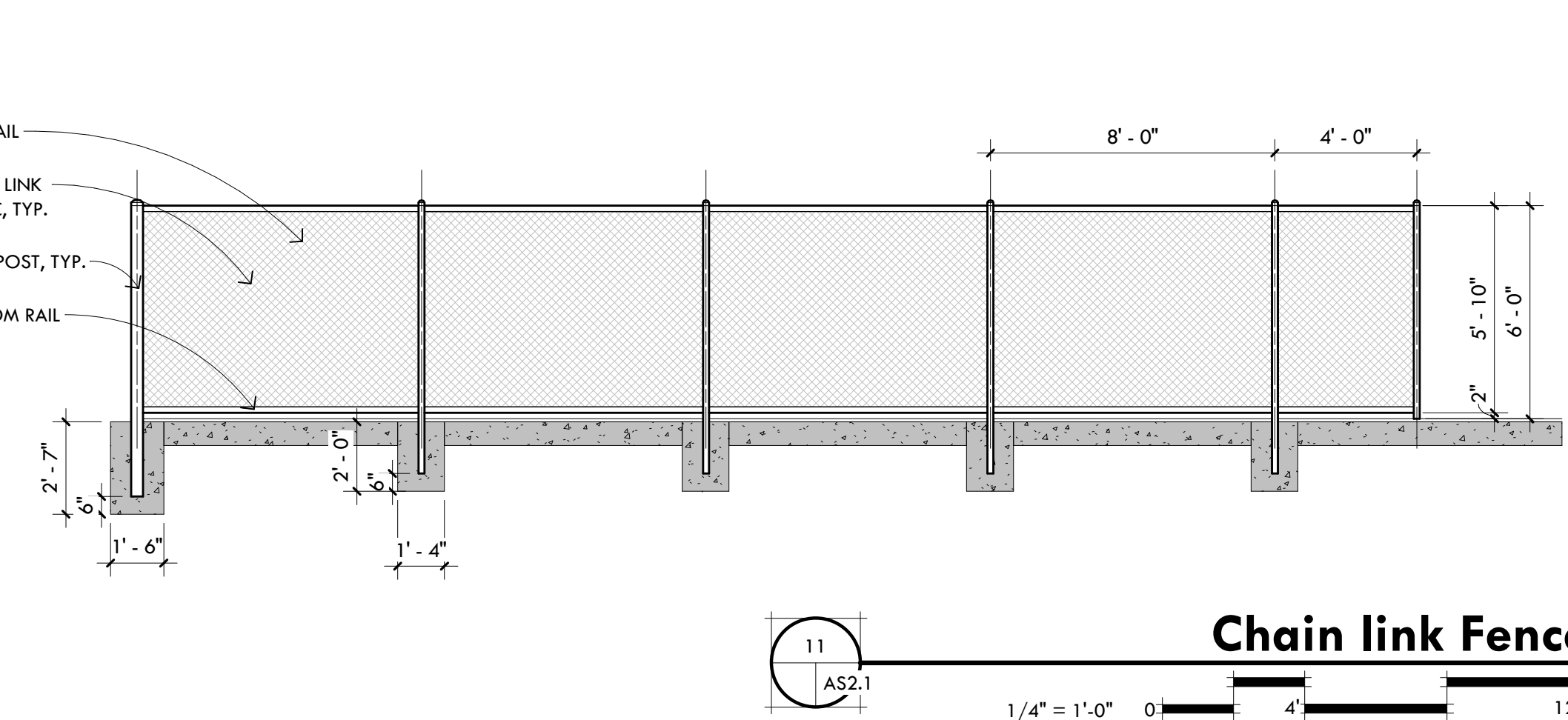
AS2.1



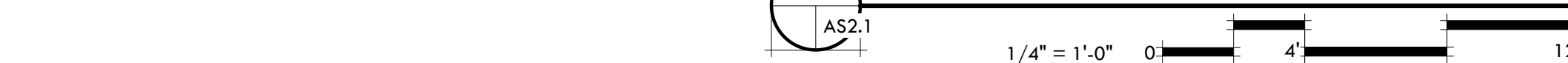
Chain Link Single Gate



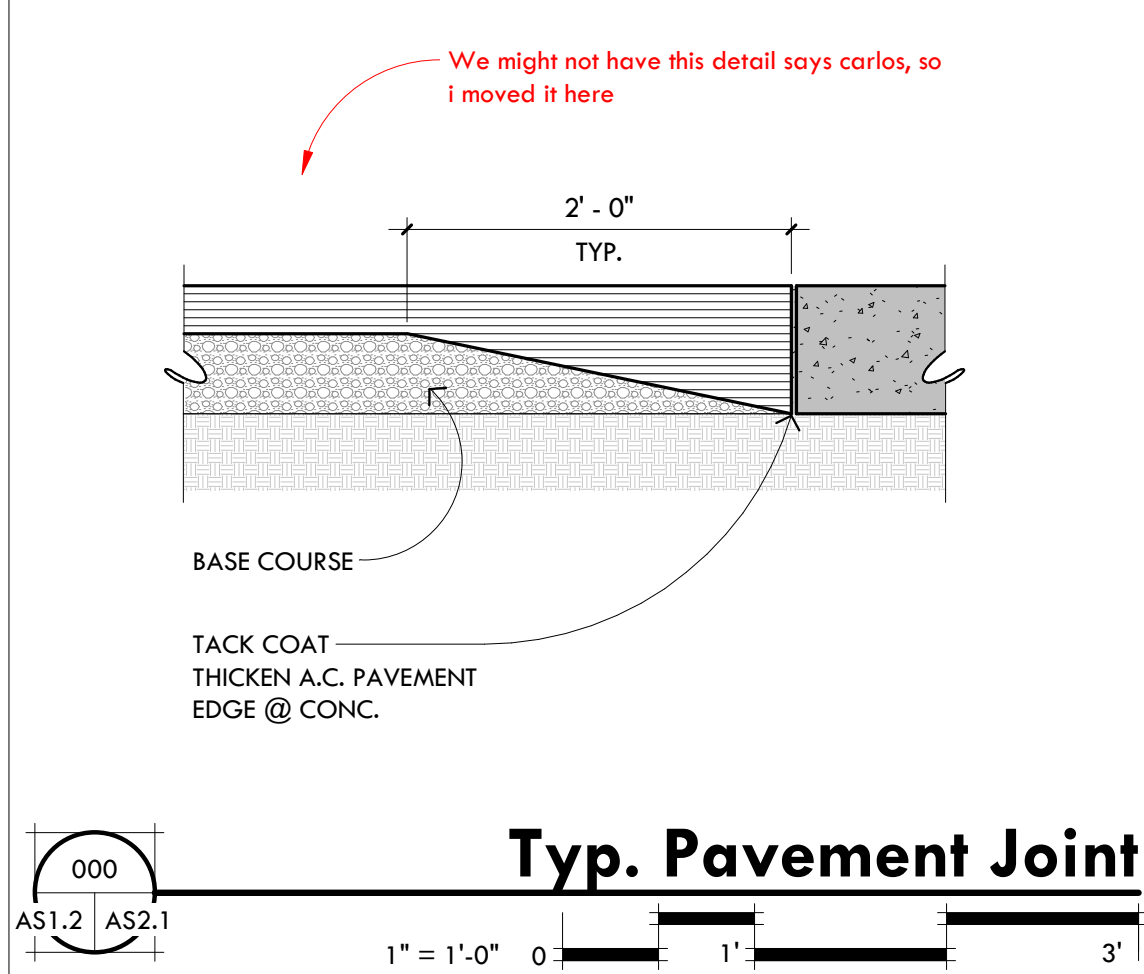
AS2.1



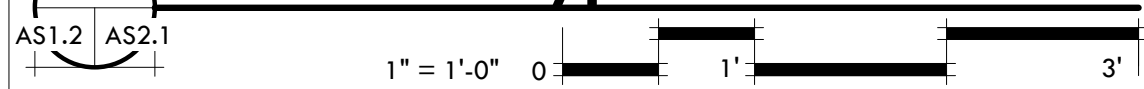
Chain link Fence



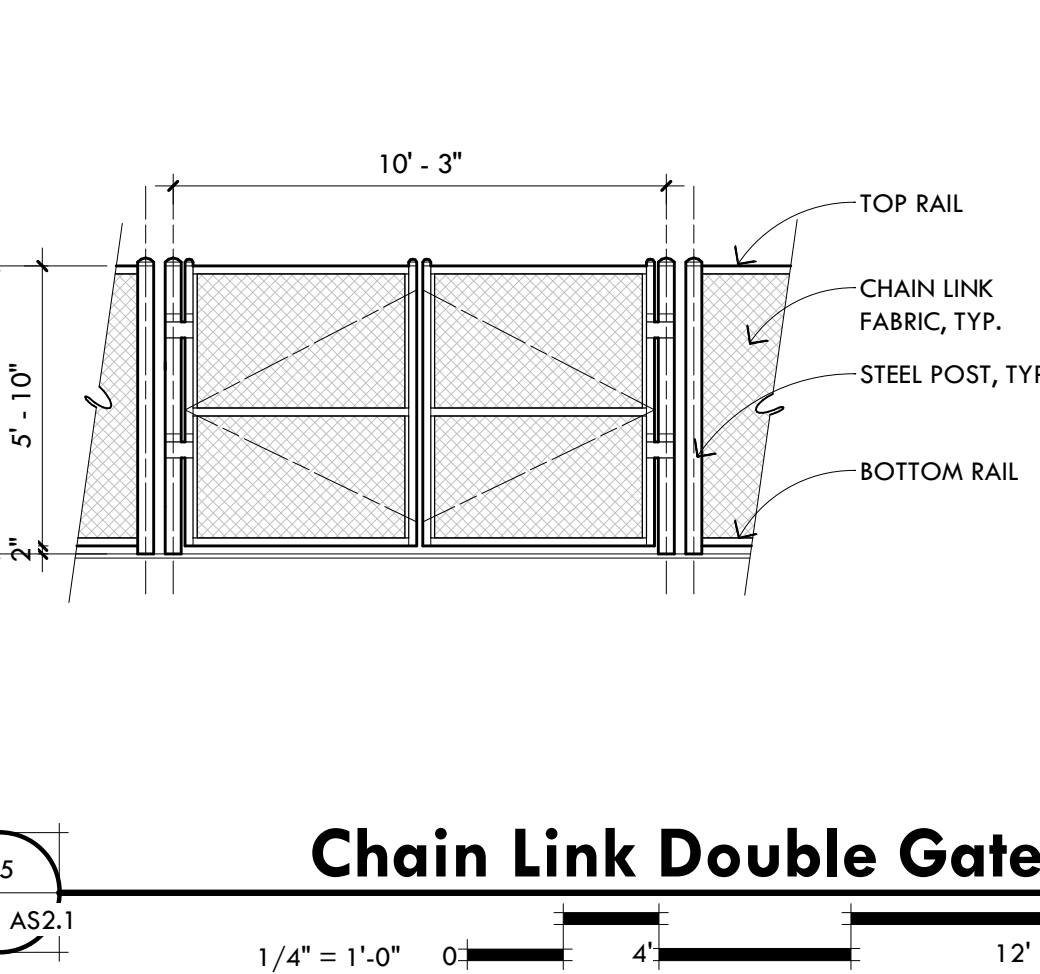
AS2.1



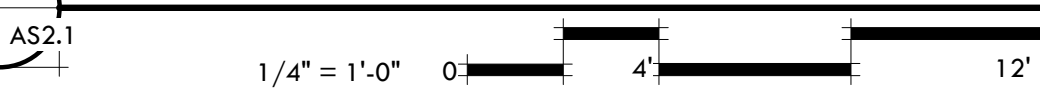
Typ. Pavement Joint



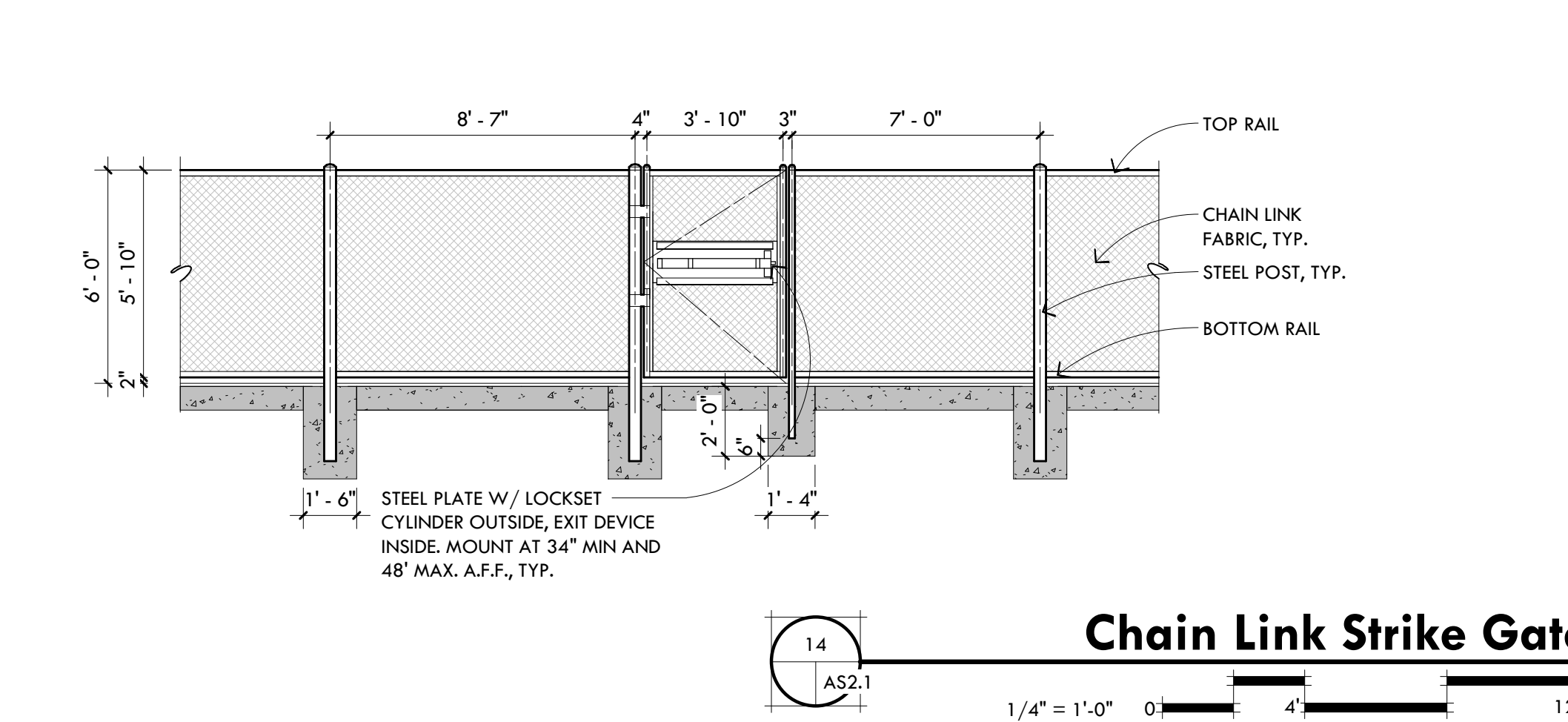
AS2.1



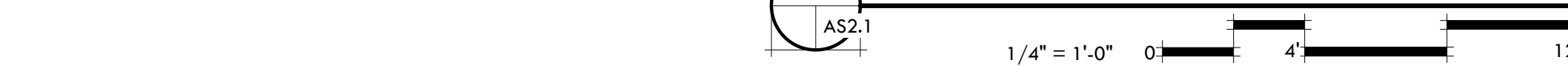
Chain Link Double Gate



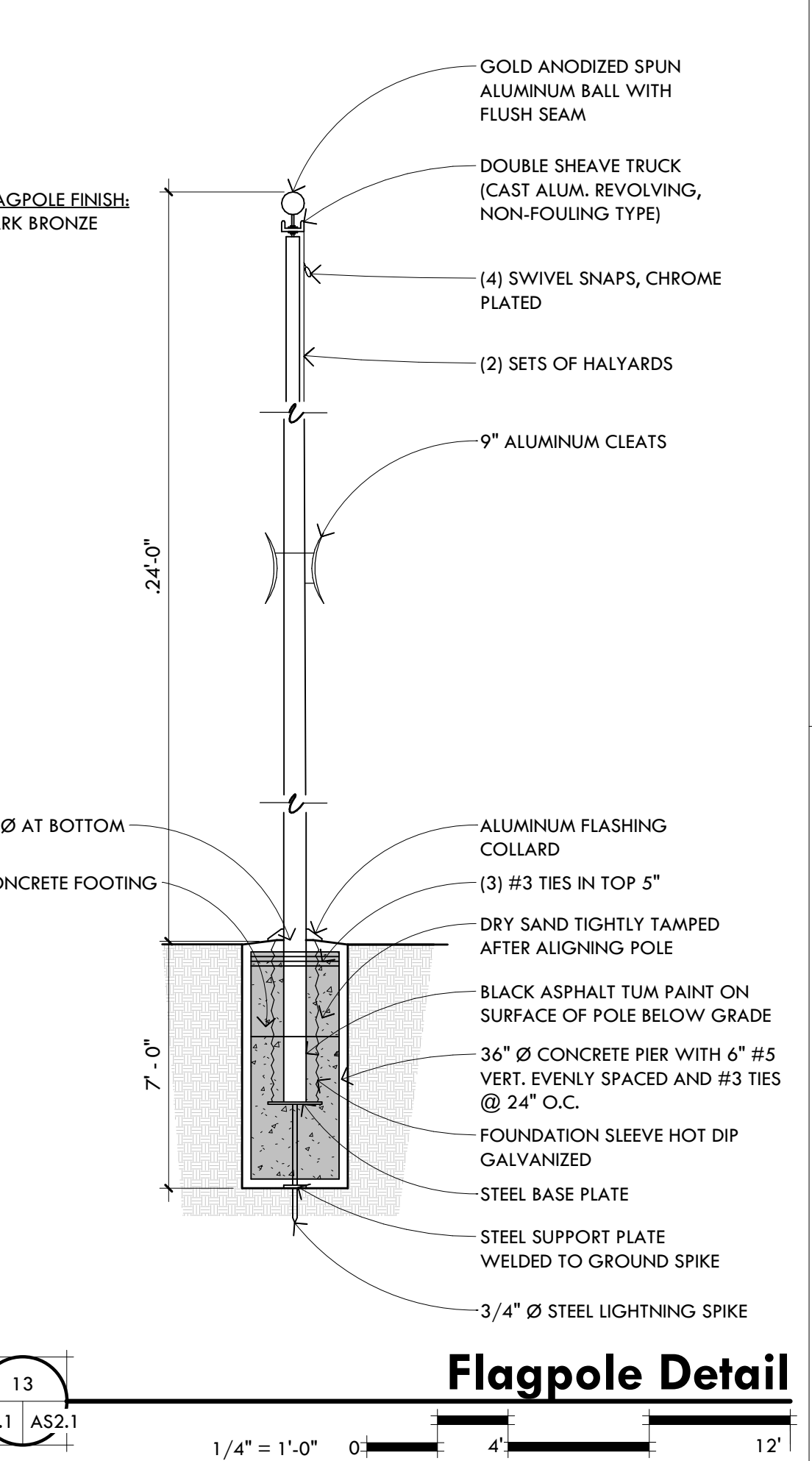
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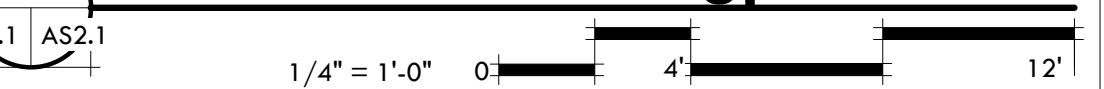
Chain Link Strike Gate



AS2.1



Flagpole Detail



AS2.1

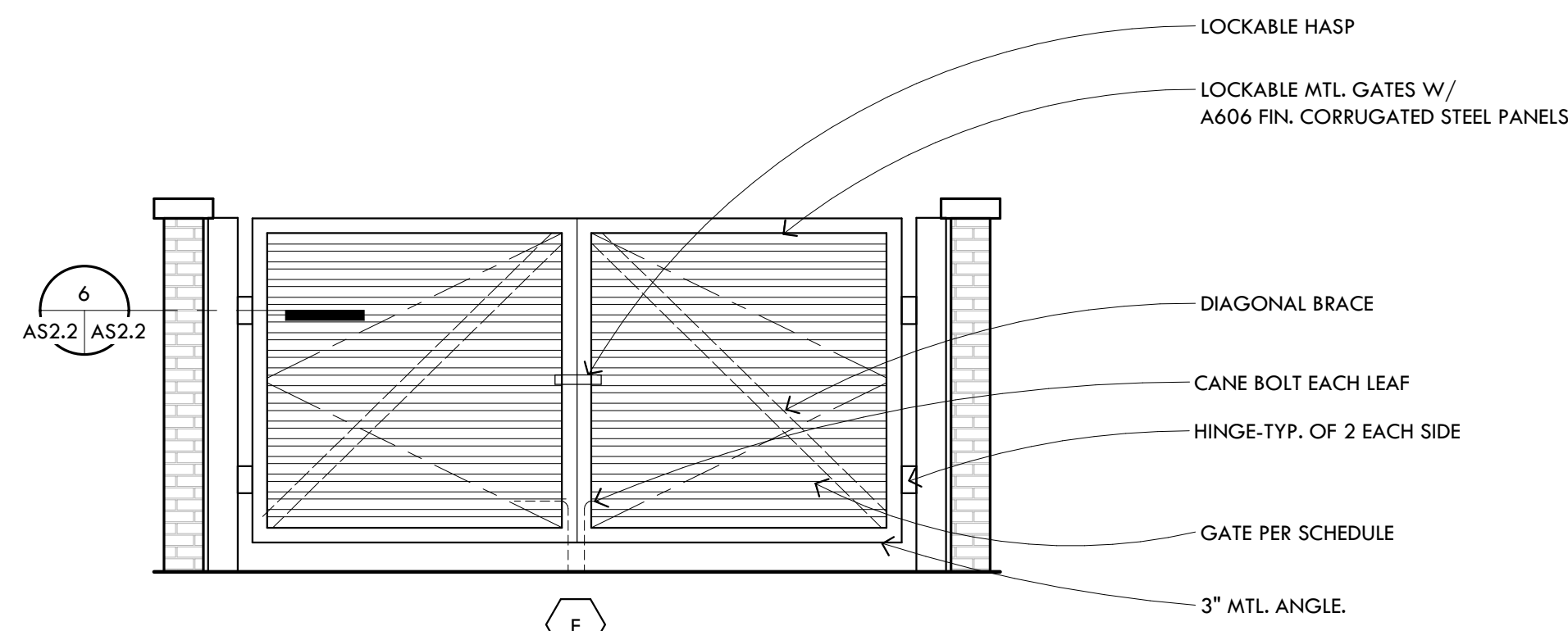
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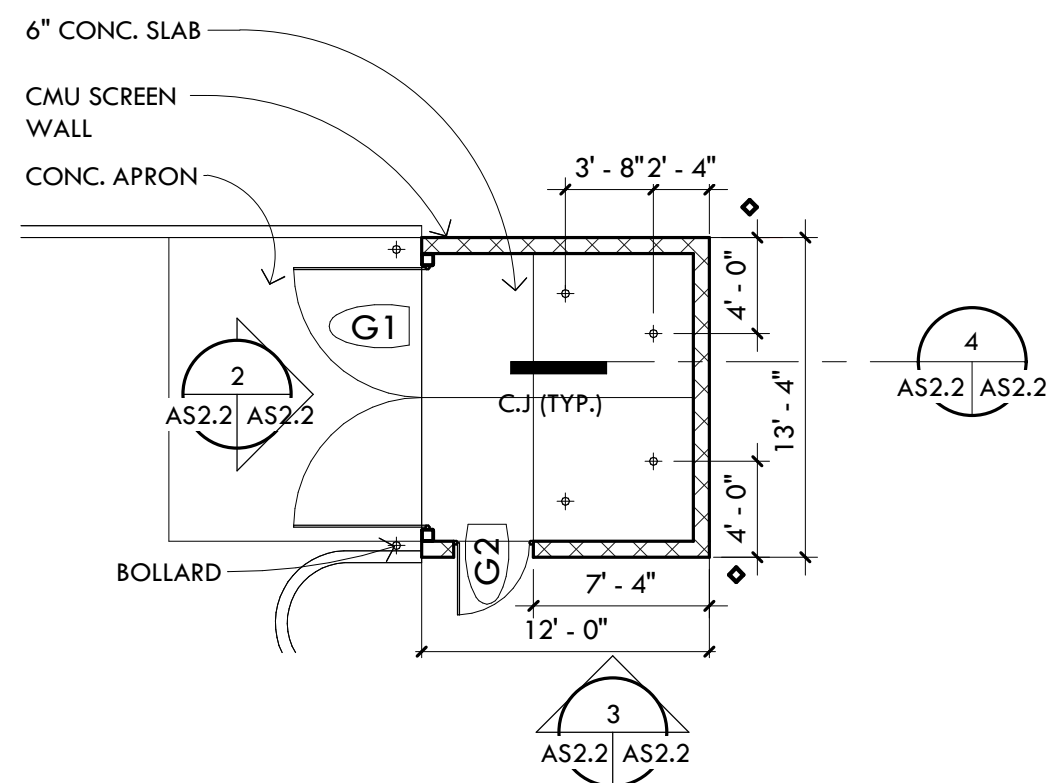
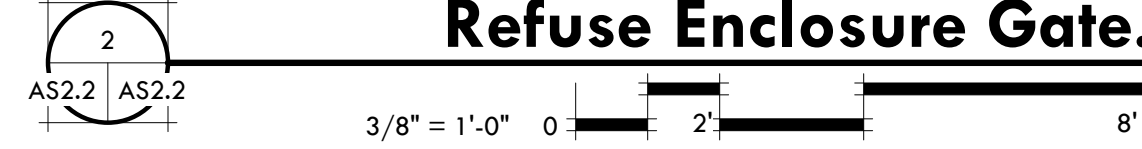
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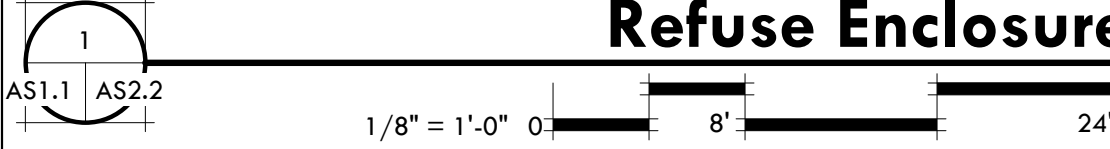
PLOT DATE: 11/25/2024 4:46:15PM



Refuse Enclosure Gate.

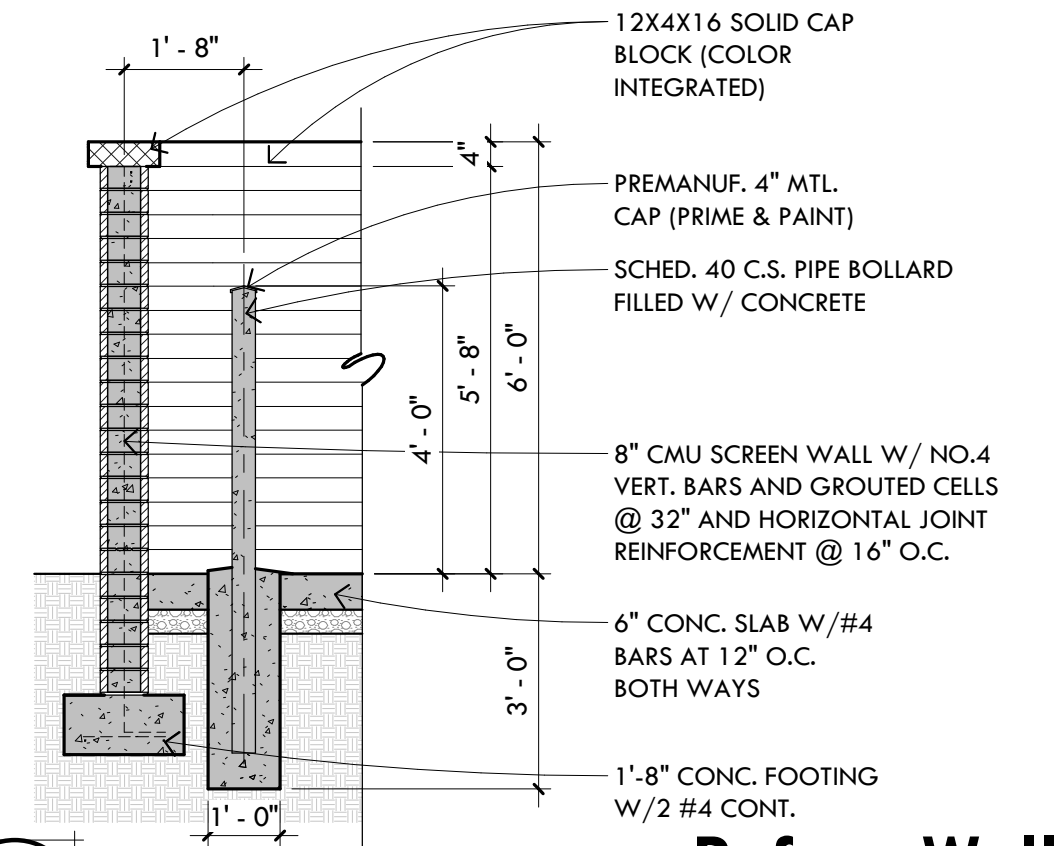


Refuse Enclosure

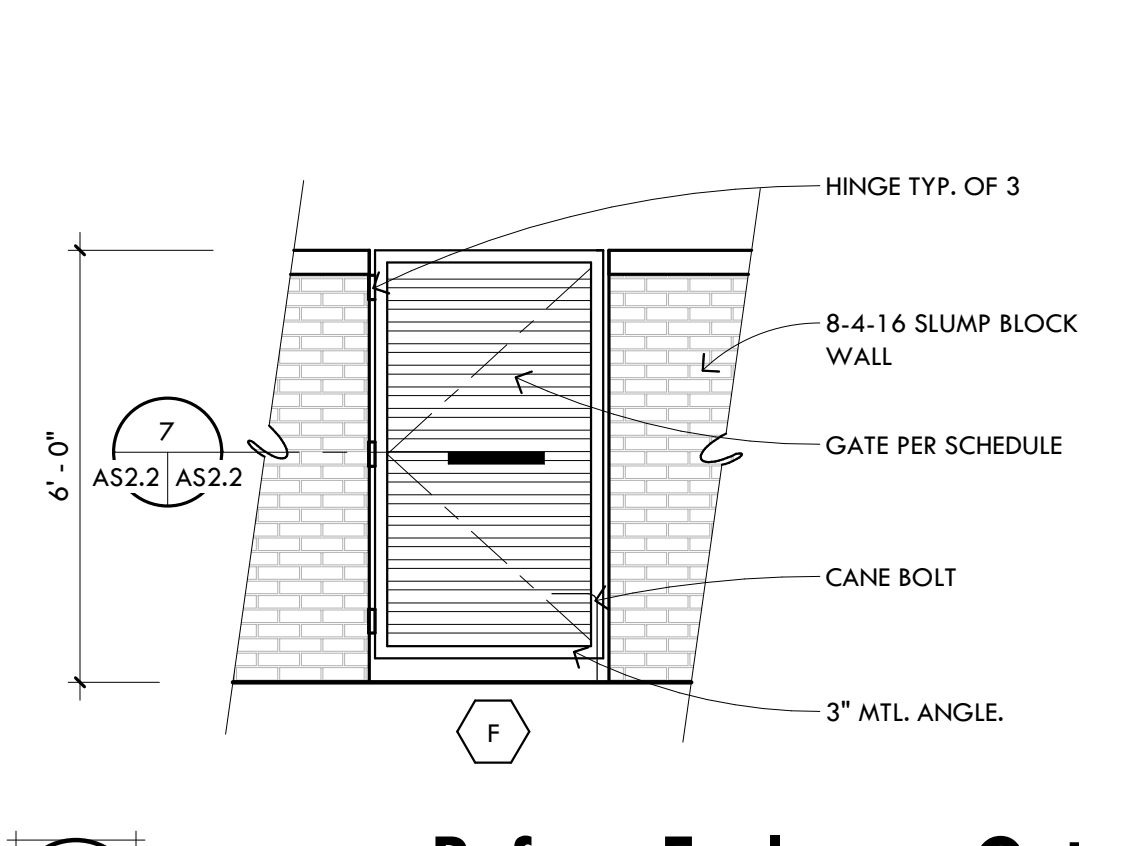
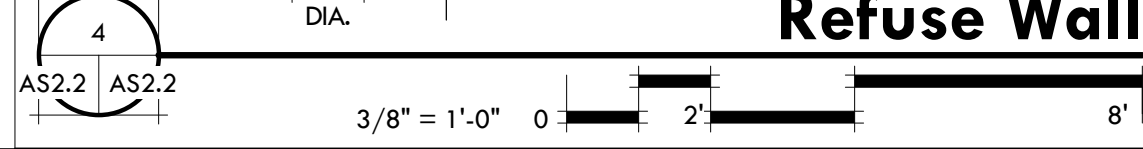


Gate Schedule

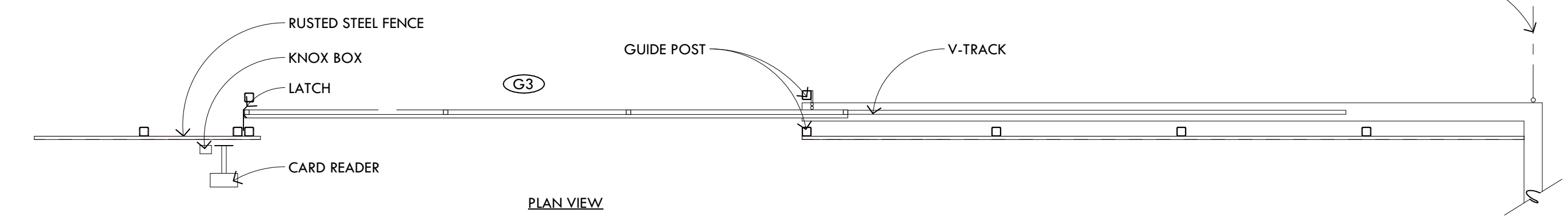
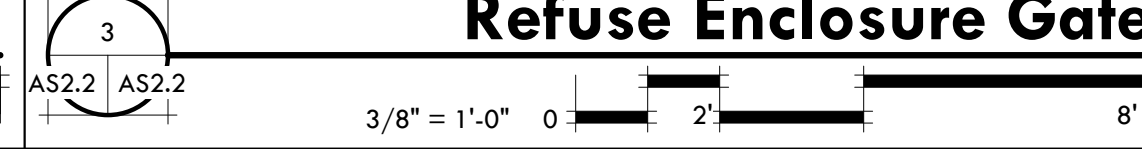
Number	Gate Type	Height	Width	Width	Material	Finish	Detail	Hardware	Rating - Fire	Remarks
G1	E	6'-0"	11'-0"	2"	STL	STL	6	-	-	
G2	F	6'-0"	3'-4"	2"	STL	STL	2	-	-	
G3	G	6'-0"	20'-0"	2"	STL	STL	8	08	-	



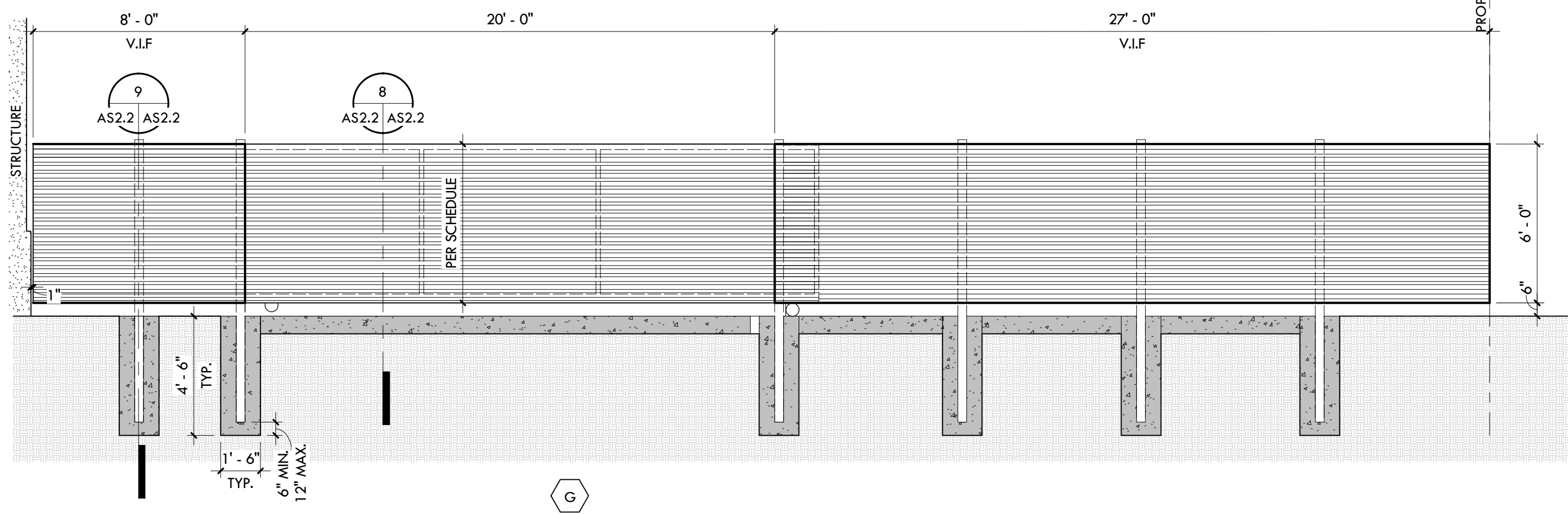
Refuse Wall



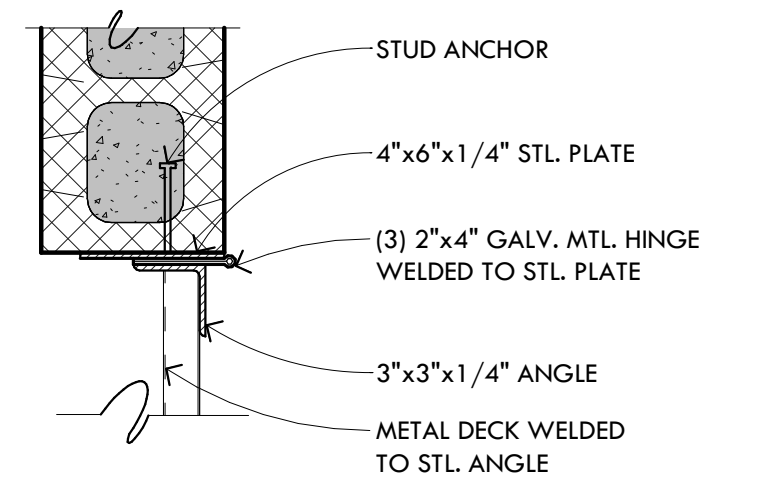
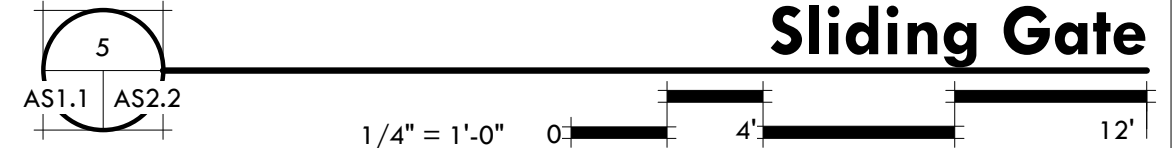
Refuse Enclosure Gate



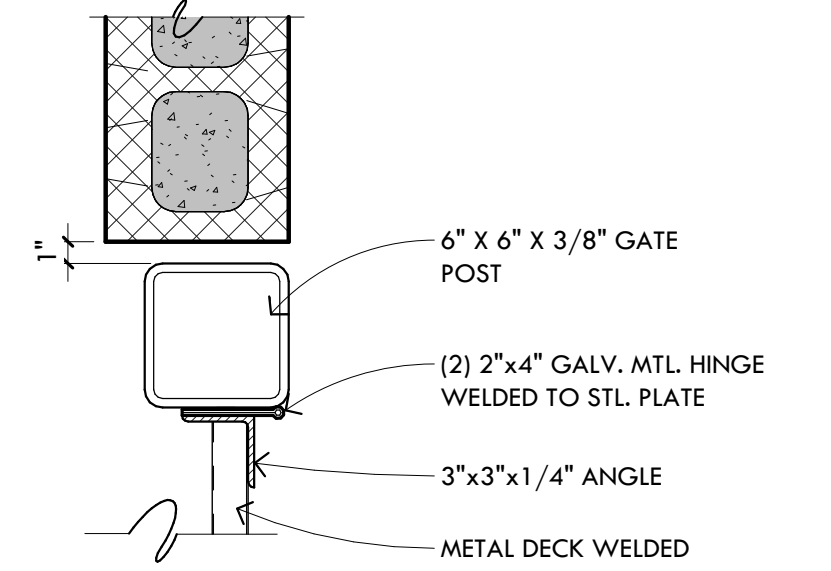
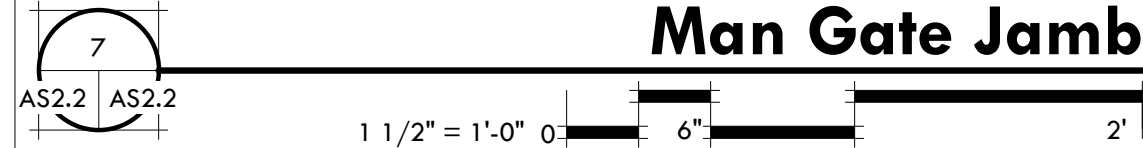
PLAN VIEW



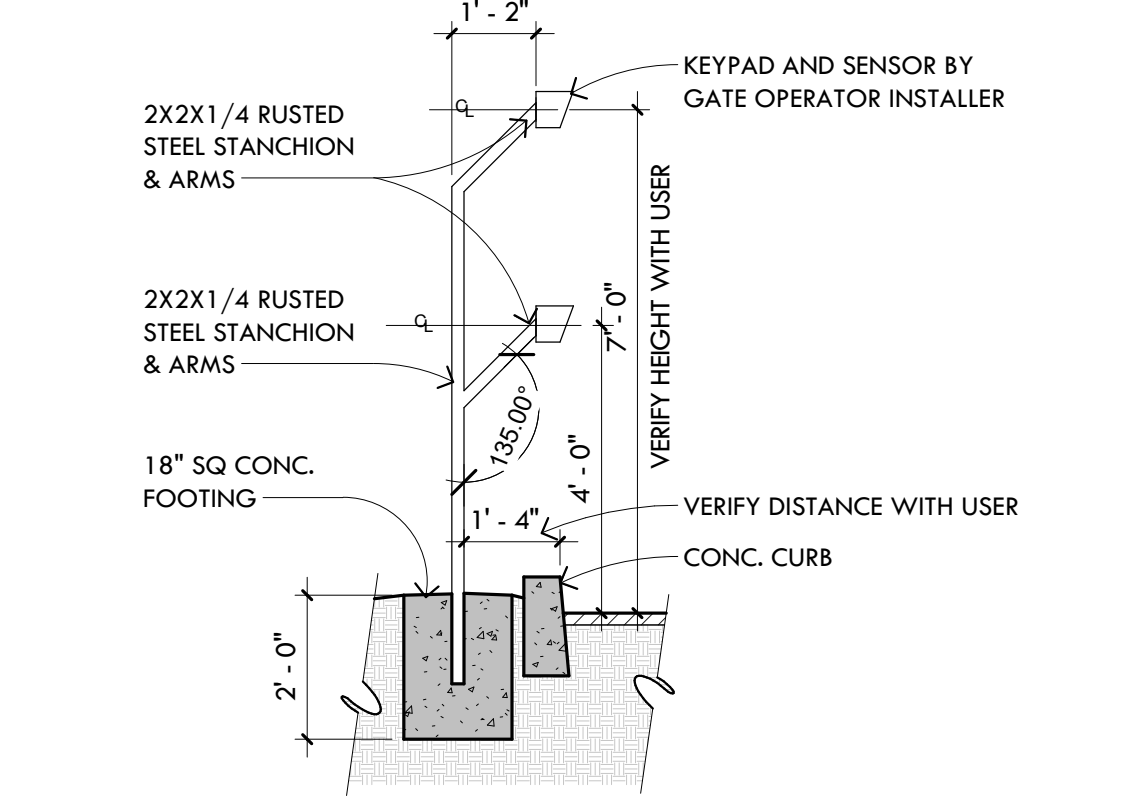
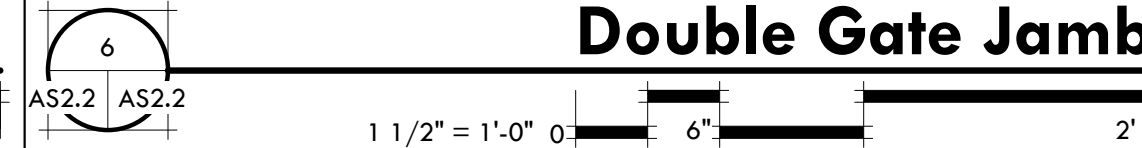
Sliding Gate



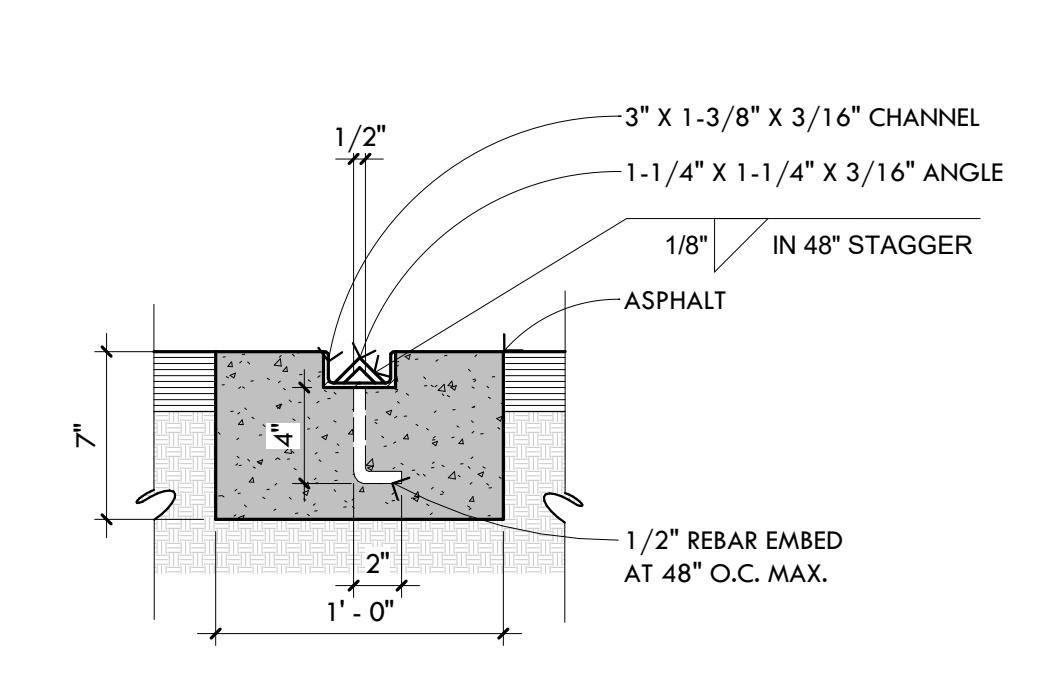
Man Gate Jamb



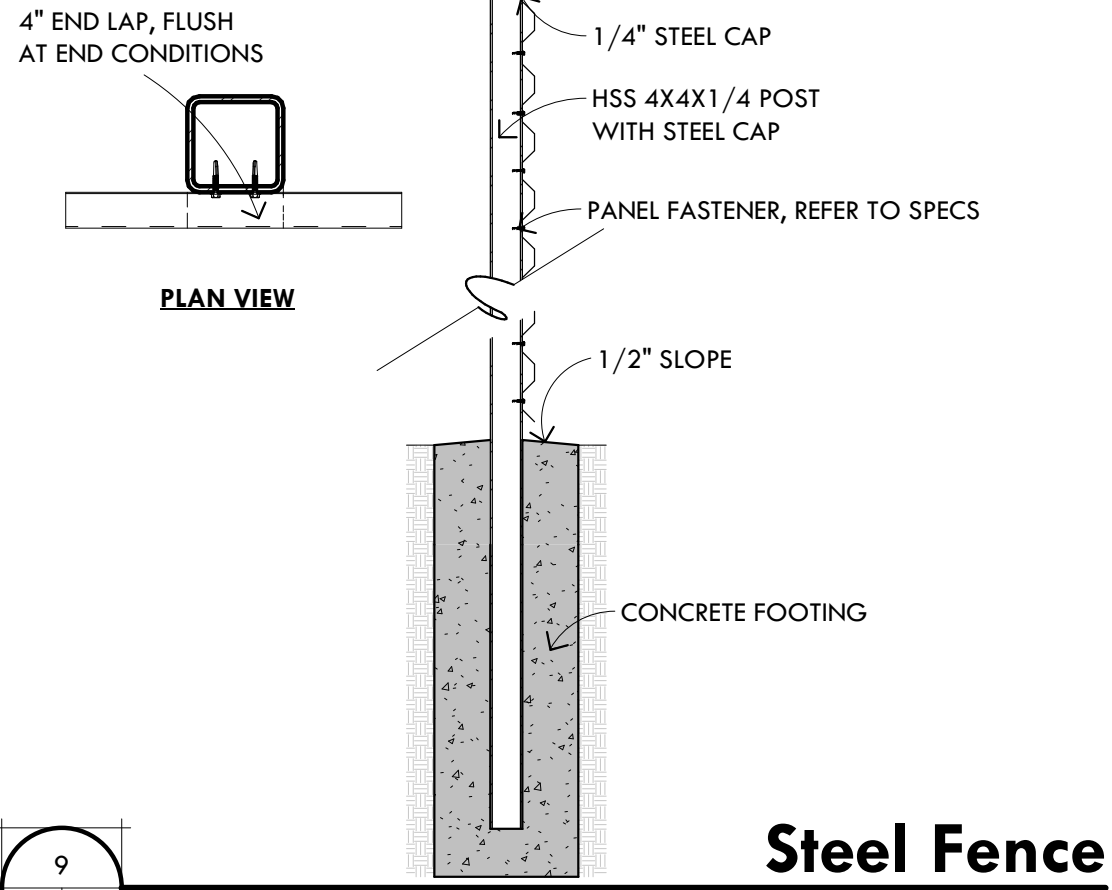
Double Gate Jamb



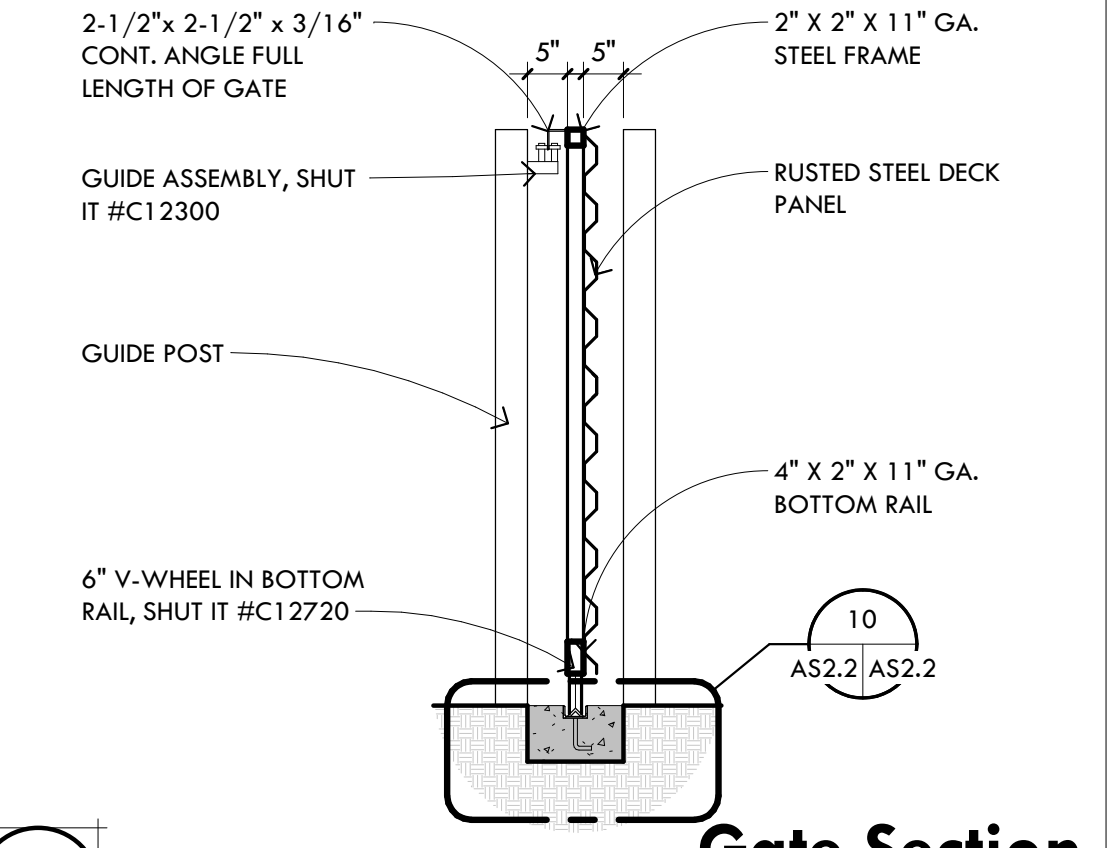
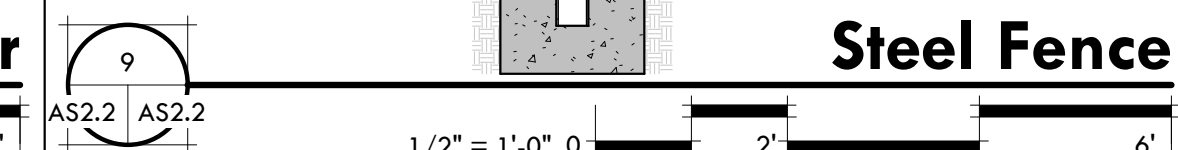
Keypad Stanchion



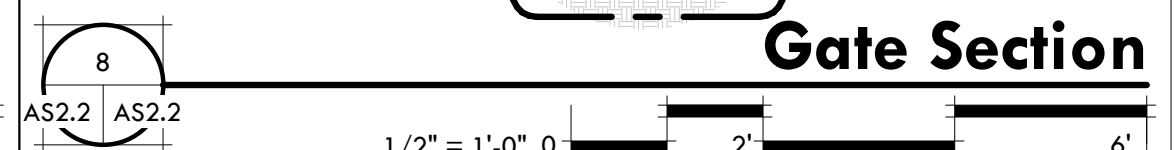
Concrete Runner



Steel Fence



Gate Section



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 5 2 0 . 8 8 2 . 9 9 4 4

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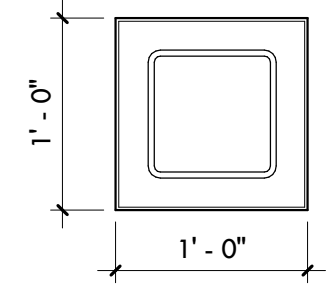
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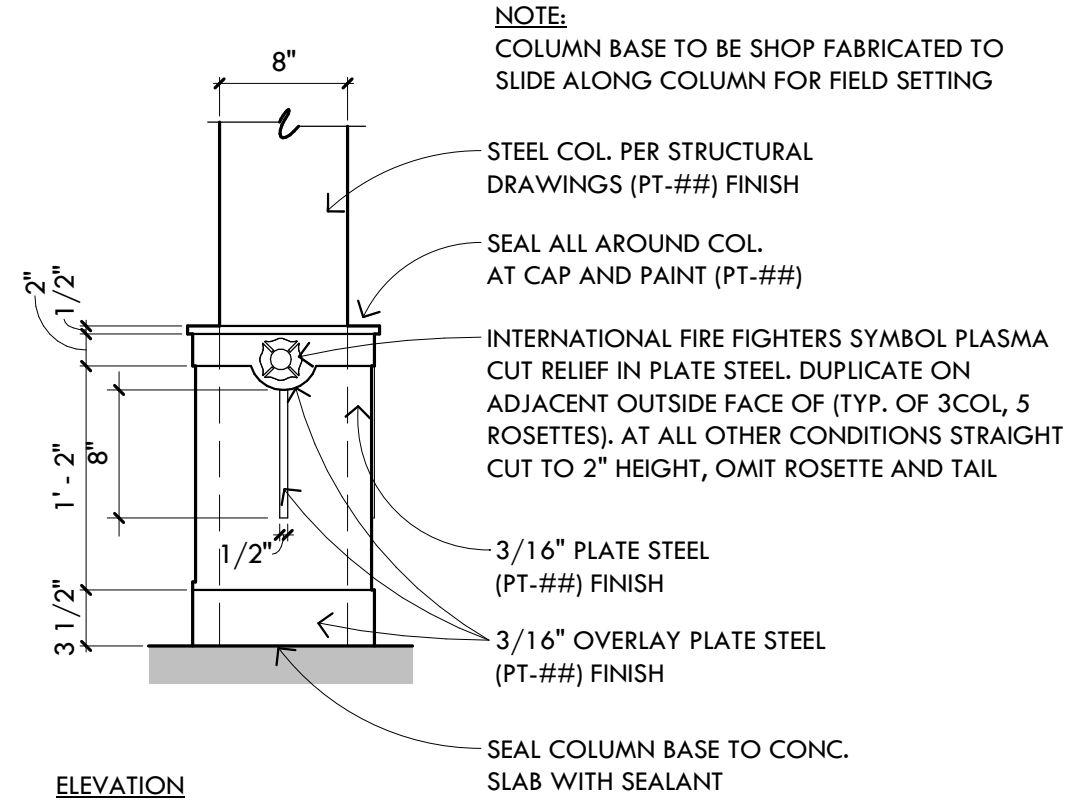
Site Details

AS2.2

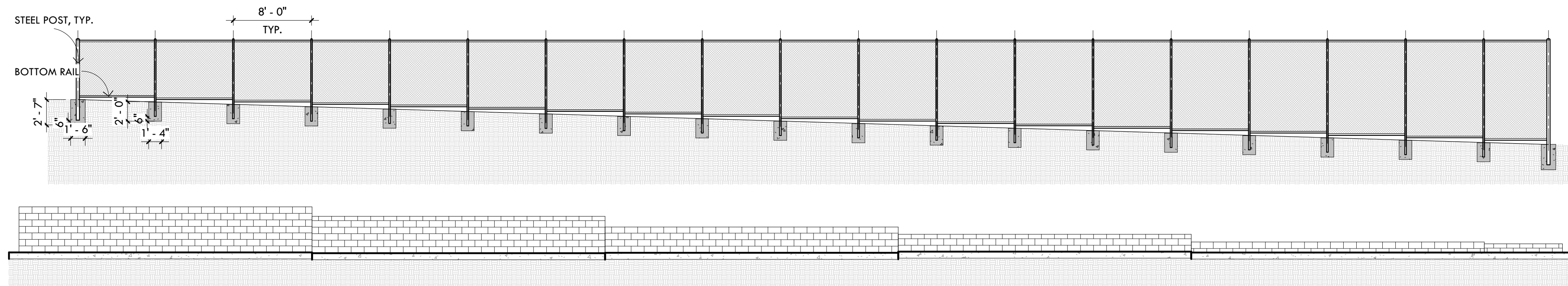
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PLAN VIEW

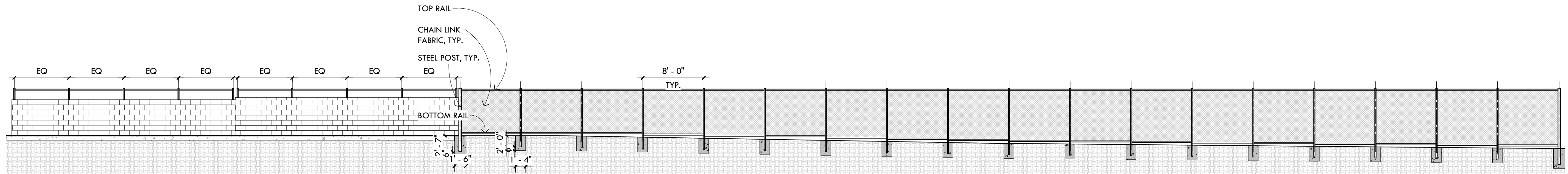


ELEVATION

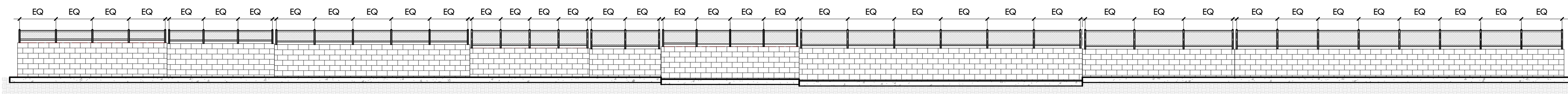


5 North Fence Elevation
AS1.1 AS2.3
1/8" = 1'-0" 0' 8' 24'

3 CD- Steel-Col Base FF
AS2.3
1" = 1'-0" 0' 1' 3'



6 South Fence Elevation
AS1.1 AS2.3
1/8" = 1'-0" 0' 8' 24'



7 East Fence Elevation
AS1.1 AS2.3
1/8" = 1'-0" 0' 8' 24'

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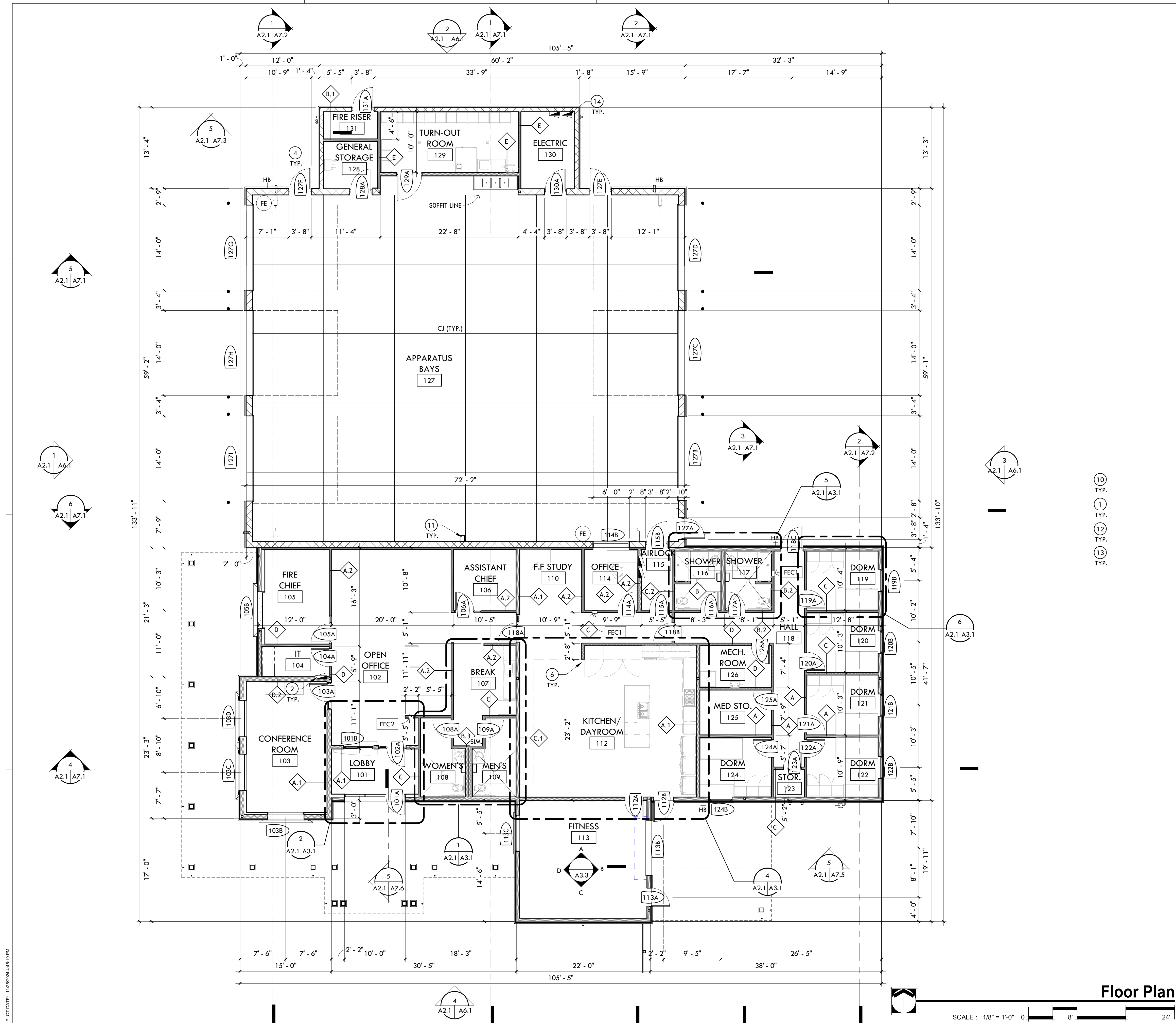
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Site Details

AS2.3

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General Notes

1. ALL DIMENSIONS OF METAL STUD WALLS ARE TO THE FACE OF THE STUD.
2. ALL DOORS ON METAL STUD PARTITION WALLS TO BE 4" FROM PERPENDICULAR WALL TO OUTSIDE OF FRAME, UNO.
3. STRUCTURAL GRID LINES ARE TO COLUMN CENTERLINE.
4. REFER TO STRUCTURAL DRAWINGS FOR CONCRETE SLAB CONTROL JOINT LOCATION.
5. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND OR CIVIL REQUIREMENTS MUST BE COORDINATED BY THE CONTRACTOR BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
6. DETAILS MARKED "TYP" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
7. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
8. DETAILS MARKED "SIM" MEANS COMPARABLE CHARACTERISTIC FOR THE CONDITIONS NOTED. VERIFY SIMILAR DIMENSIONS OR NOTES ON THE DRAWINGS.
9. USE MOISTURE RESISTANT GYPSUM WALLBOARD ON ALL PARTITIONS WHICH ARE EXPOSED TO WATER OR MOISTURE FOR EXAMPLE, JANITOR'S CLOSETS, RESTROOMS, AND LAUNDRY ROOMS.
10. SLOPE FLOORS TO DRAINS AS SHOWN ON DRAWINGS.
11. SLOPE ALL CONCRETE SIDEWALKS AWAY FROM EXTERIOR DOORS A MAXIMUM OF 2%.
12. DIMENSIONS FOR COLUMN SPACING AT CANOPY ARE PROVIDED ON AS1.2 HARDSCAPE PLAN.

Keynotes

- 1 GENERATOR ANNUNCIATOR PANEL, REFER TO ELECTRICAL
- 2 ELECTRICAL PANELS
- 4 AIR COMPRESSOR, REFER TO ME & P DRAWINGS
- 6 CORNER GUARD
- 10 FIRE DEPARTMENT CONNECTION
- 11 OVERHEAD DOORS CONTROL STATION, REFER TO ELECTRICAL
- 12 FIRE ALARM CONTROL PANEL
- 13 CARD READER PEDESTAL
- 14 ELECTRICAL EQUIPMENT

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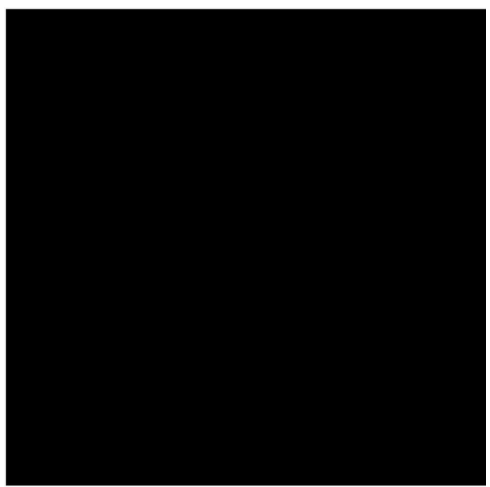
Floor Plan

A2.1

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Floor Plan

SCALE: 1/8" = 1'-0" 0' 8' 24'



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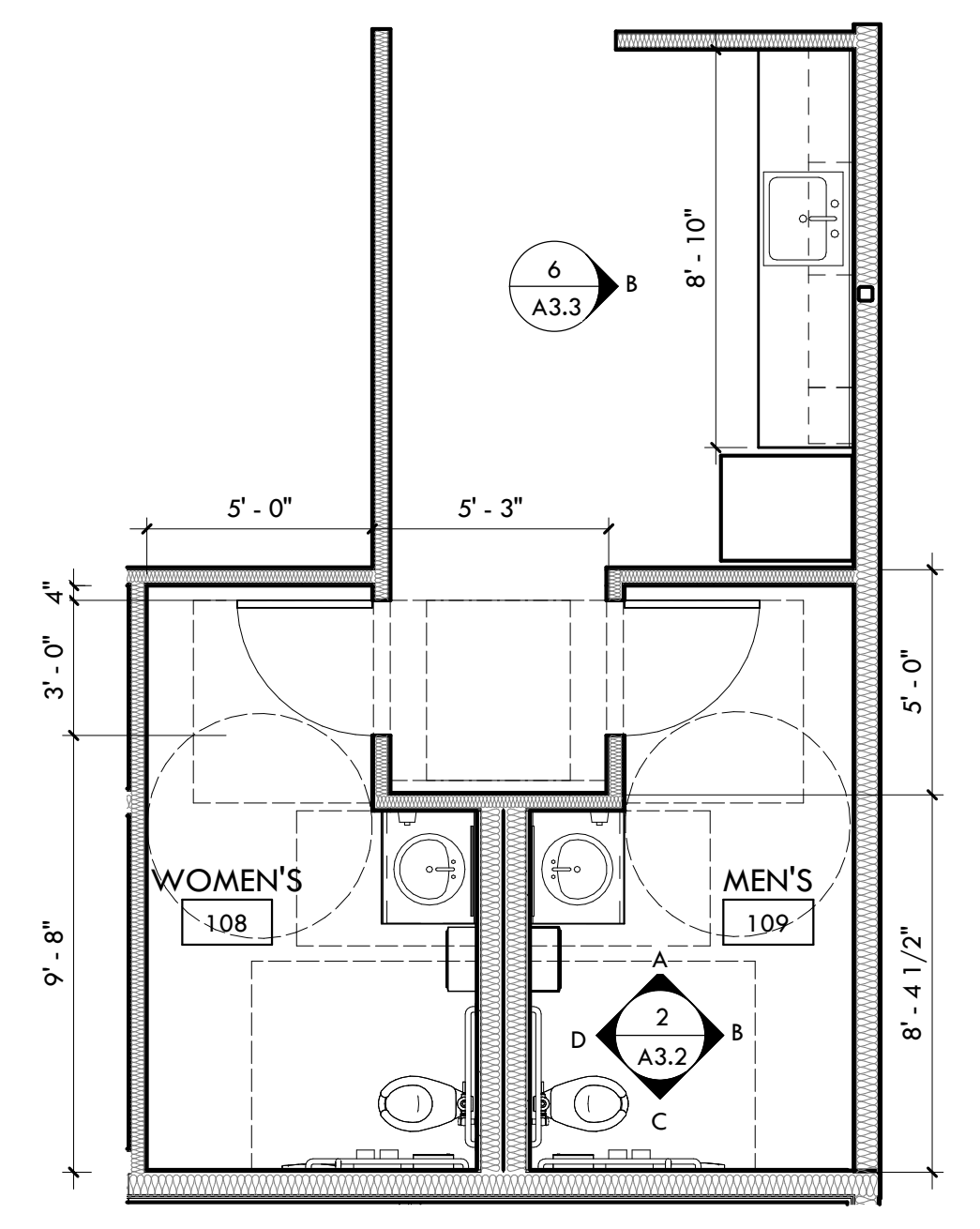
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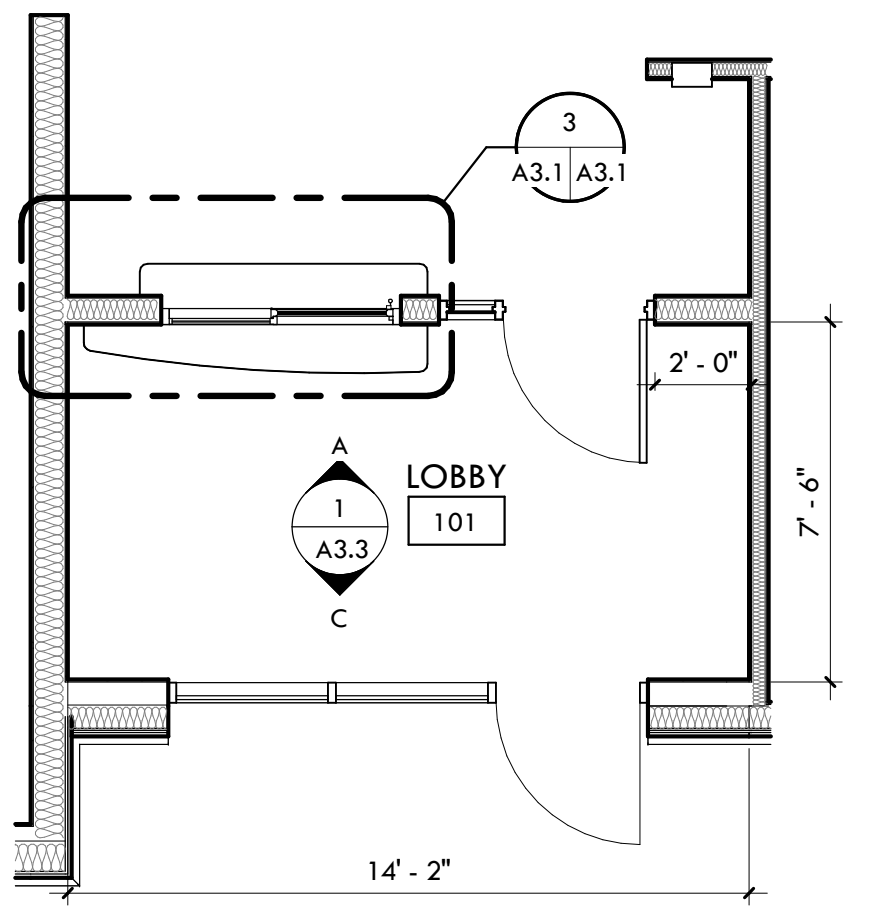
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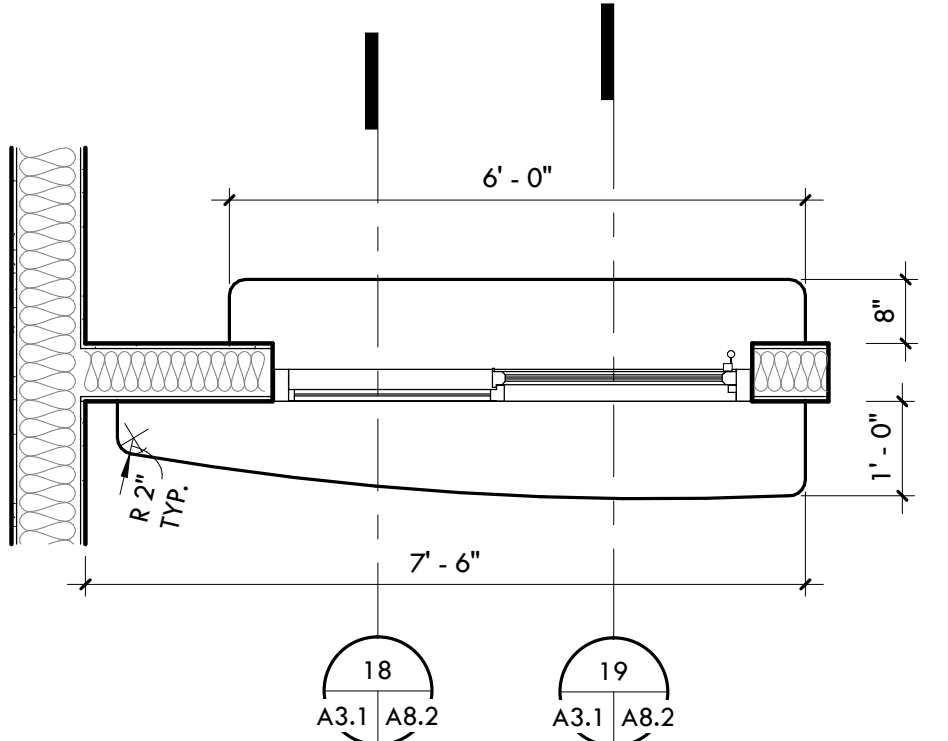
Enlarged Floor
plans
A3.1



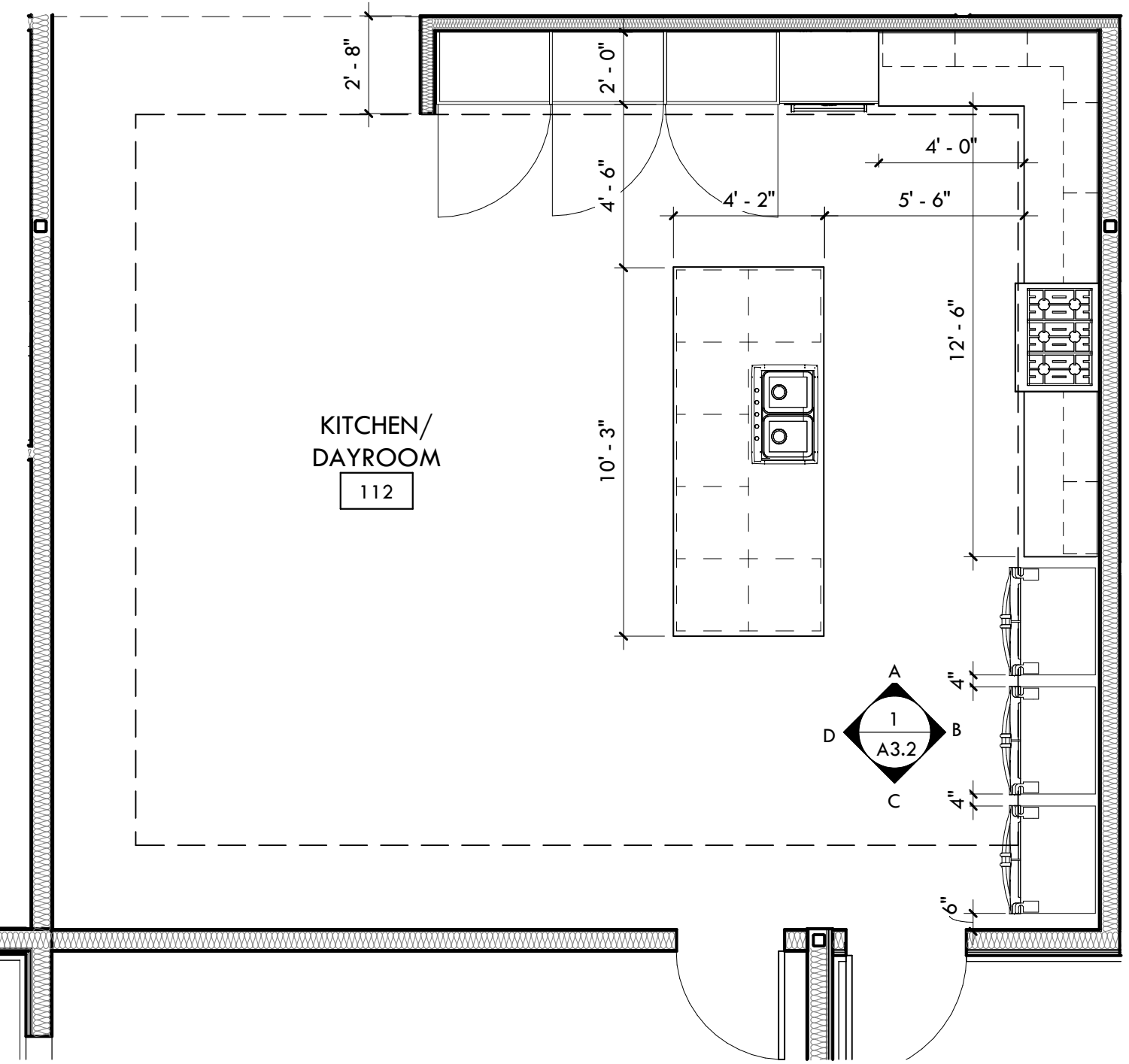
Enlarged Plan - Restrooms
1/4" = 1'-0" 0' 4' 12'



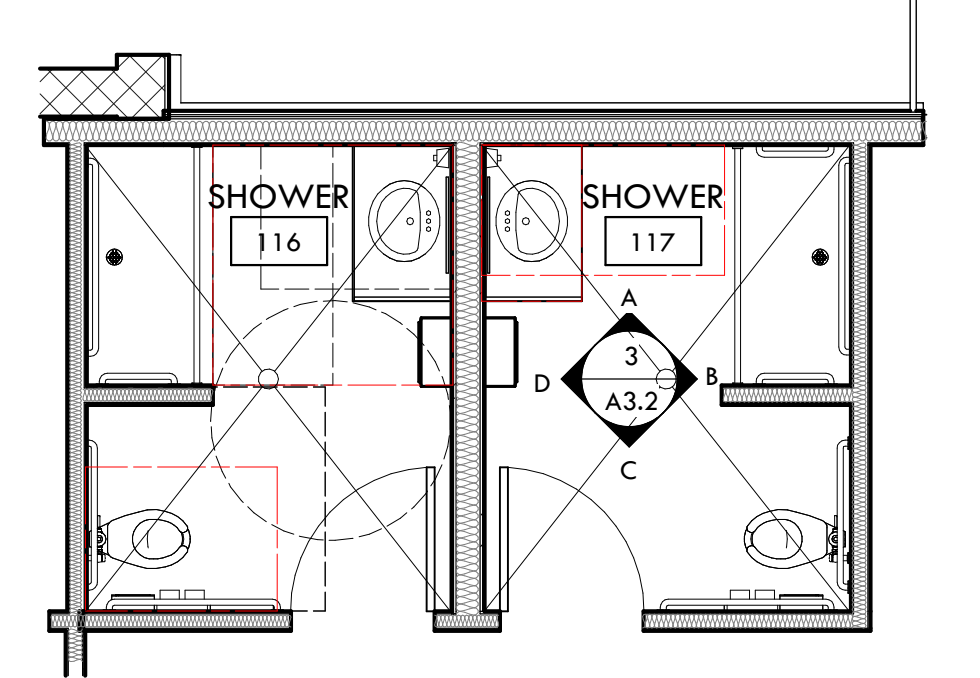
Enlarged Plan - Lobby
1/4" = 1'-0" 0' 4' 12'



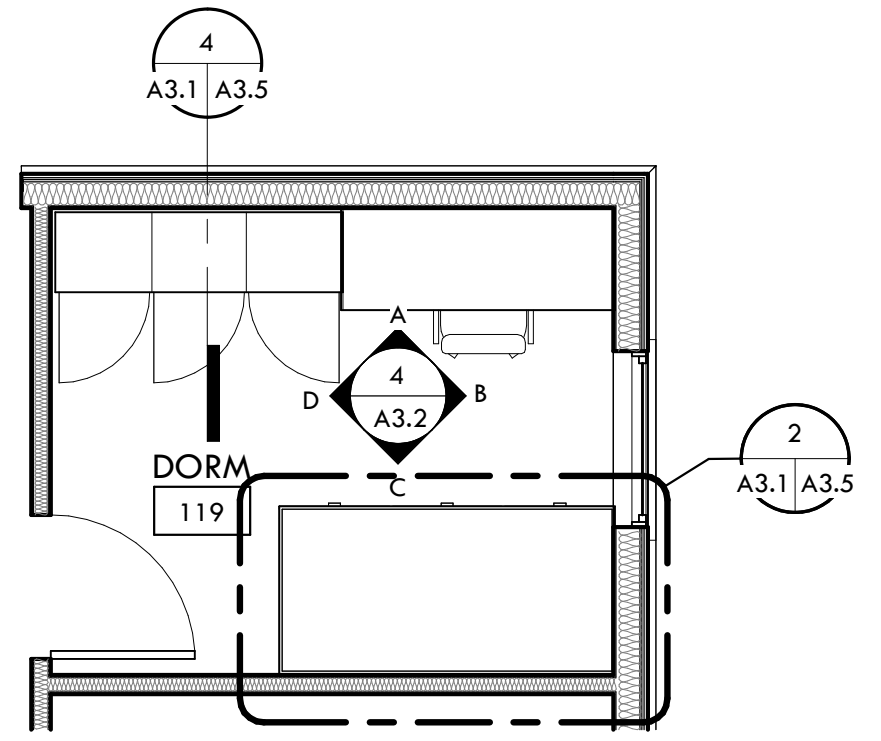
Enlarged Plan - Counter
1/2" = 1'-0" 0' 2' 6'



Enlarged Plan - Kitchen
1/4" = 1'-0" 0' 4' 12'

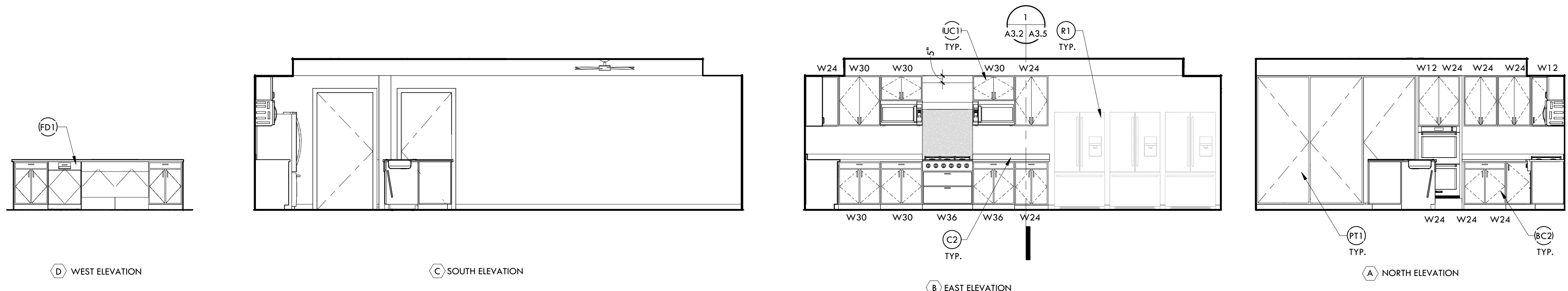


Enlarged Plan - Showers
1/4" = 1'-0" 0' 4' 12'



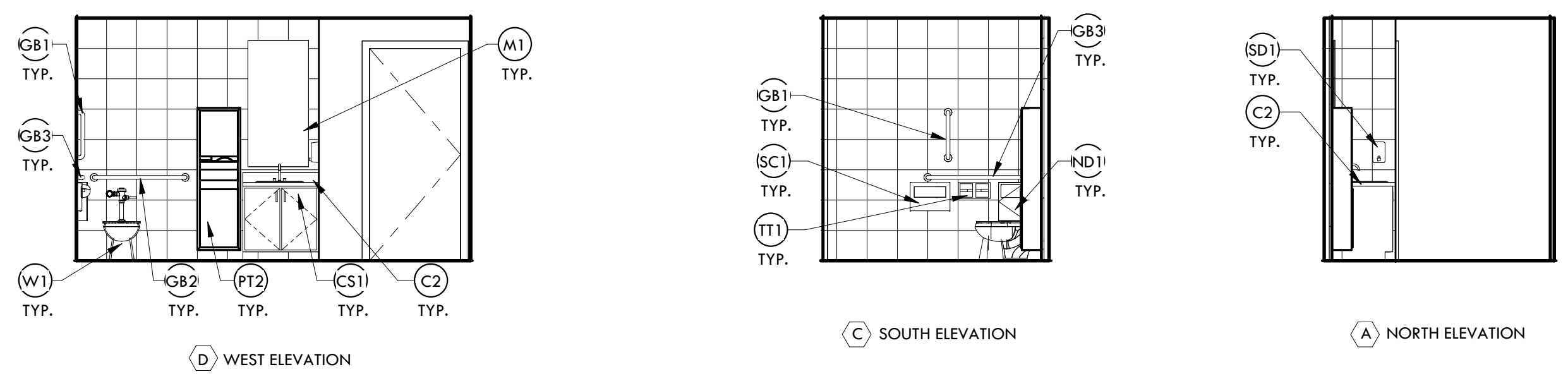
Enlarged Plan - Dorm
1/4" = 1'-0" 0' 4' 12'

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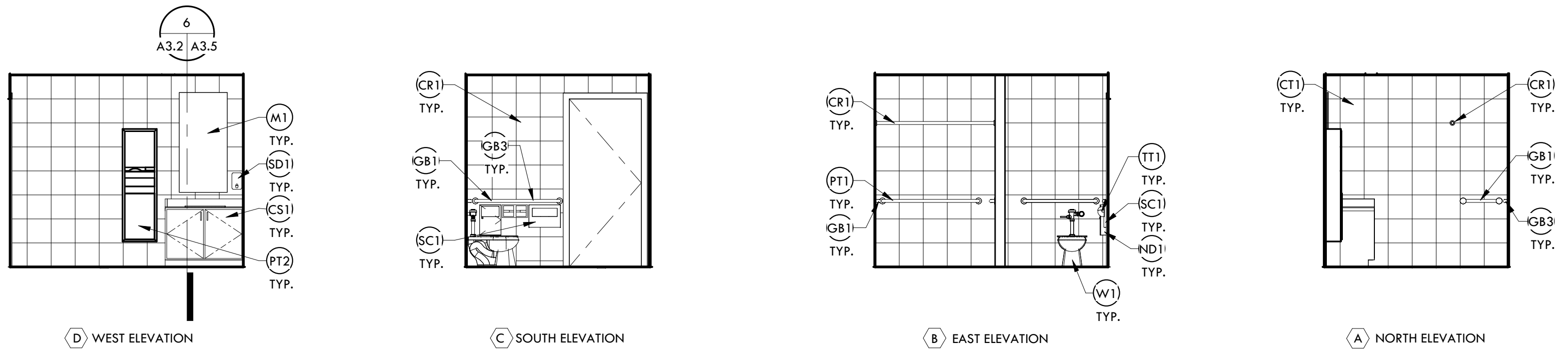
Kitchen Room 112

1/4" = 1'-0" 0 4 12'



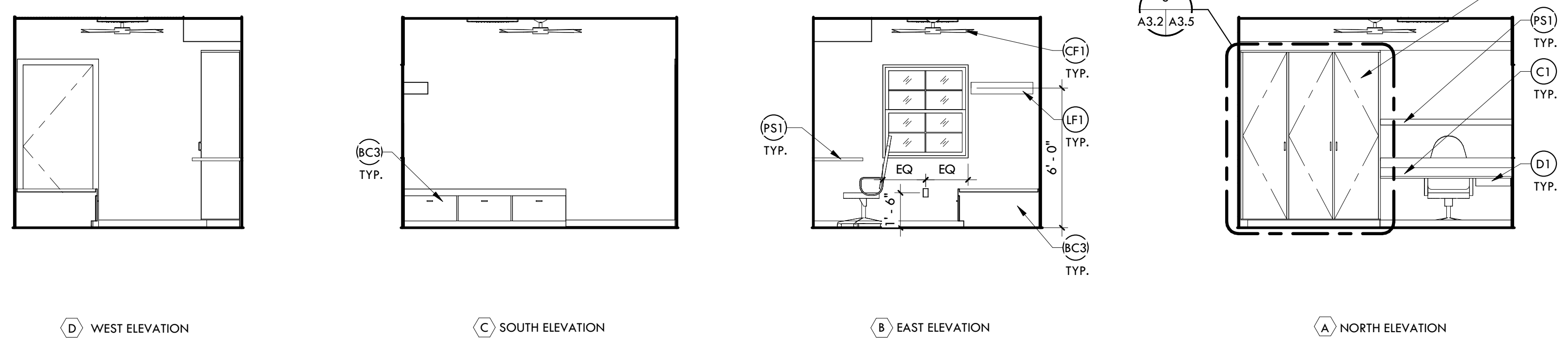
Restroom 109

1/4" = 1'-0" 0 4 12'



Shower Room 117

1/4" = 1'-0" 0 4 12'



Dorm Room 119

1/4" = 1'-0" 0 4 12'

General Notes

- REFER TO SHEET A3.3.1 FOR TOILET ACCESSORIES KEYNOTES AND MOUNTING HEIGHTS
- BATHROOM ACCESSORIES TO BE KEYLESS TYPE

Keynotes

- (BC2) BIRCH PLYWOOD BASE CABINET
- (BC3) BUILT-IN BED BASE CABINET
- (C1) SOLID SURFACE COUNTERTOP
- (C2) SOLID SURFACE COUNTERTOP & BACKSPLASH
- (CF1) CEILING FAN
- (CR) SHOWER CURTAIN ROD
- (CS) A.D.A. COMPLIANT SINGLE COMPARTMENT SINK
- (CT) CERAMIC TILE
- (D1) DRAWER
- (FD1) FRONT LOADING DISHWASHER
- (GB) 18" LONG VERTICAL GRAB BAR
- (GB2) 36" HORIZONTAL GRAB BAR
- (GB3) 42" HORIZONTAL GRAB BAR
- (LF1) WALL MOUNTED LIGHT FIXTURE
- (LL) BUILT-IN LOCKERS
- (M1) A.D.A. FRAMED MIRROR
- (ND) SANITARY NAPKIN DISPOSAL
- (PS) SHELF
- (PT) PANTRY
- (PT2) WASTE RECEPTACLE
- (R1) REFRIGERATOR
- (SC) TOILET SEAT COVER DISPENSER
- (SD) SOAP DISPENSER
- (TT) TOILET PAPER DISPENSER
- (UC) BIRCH PLYWOOD UPPER CABINET
- (W1) A.D.A. COMPLIANT WATER CLOSET

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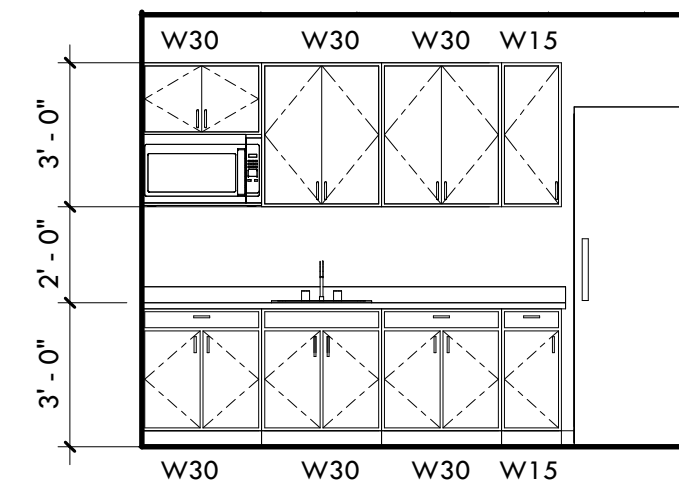
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Interior Elevations
A3.2



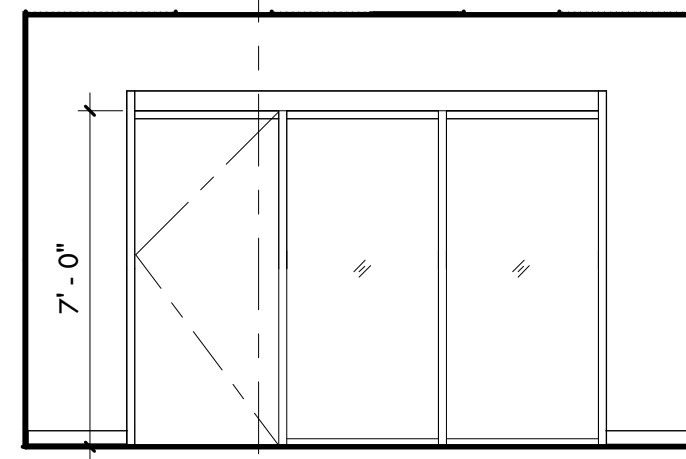
(A) EAST ELEVATION

Break Room

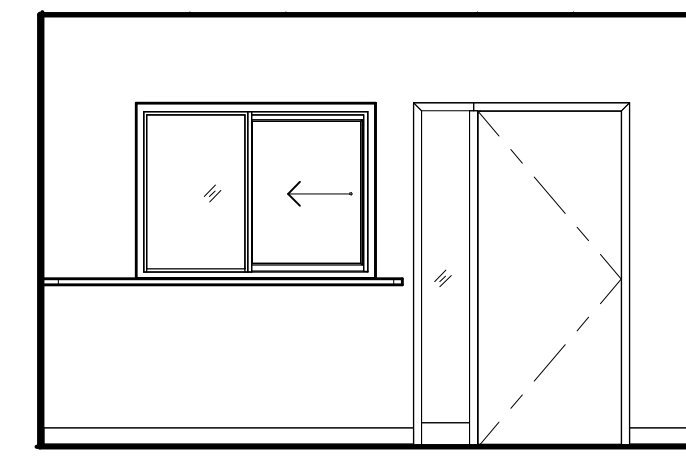
2

1/4" = 1'-0" 0 4 12'

5
A2.1 A7.6



(B) SOUTH ELEVATION



(A) NORTH ELEVATION

Lobby

1

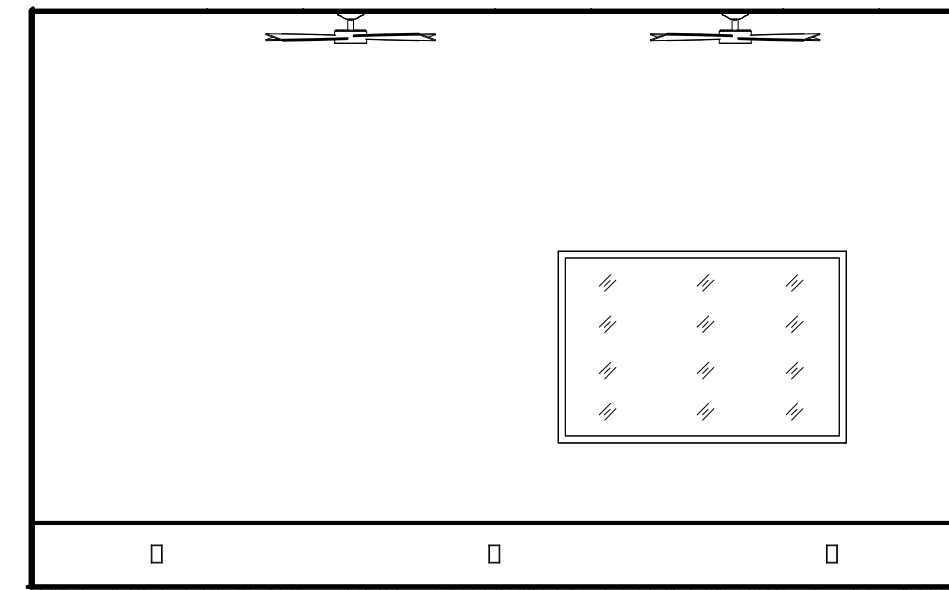
1/4" = 1'-0" 0 4 12'

General Notes

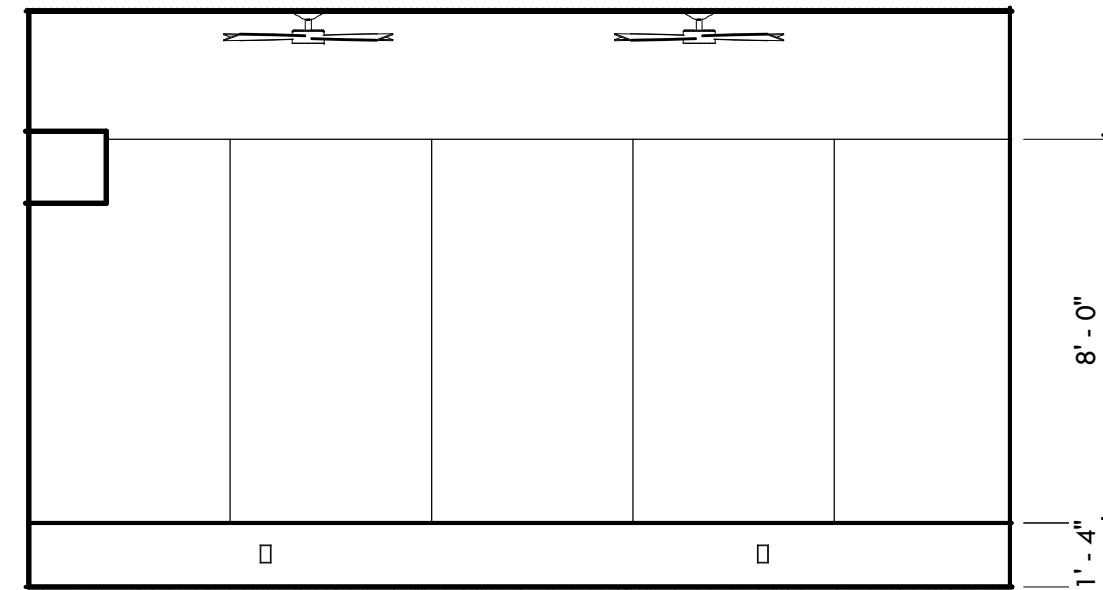
1. REFER TO SHEET A3.4 FOR TOILET ACCESSORIES KEYNOTES AND MOUNTING HEIGHTS
2. BATHROOM ACCESSORIES TO BE KEYLESS TYPE

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a r c h i t e c t s
p l a n n e r s

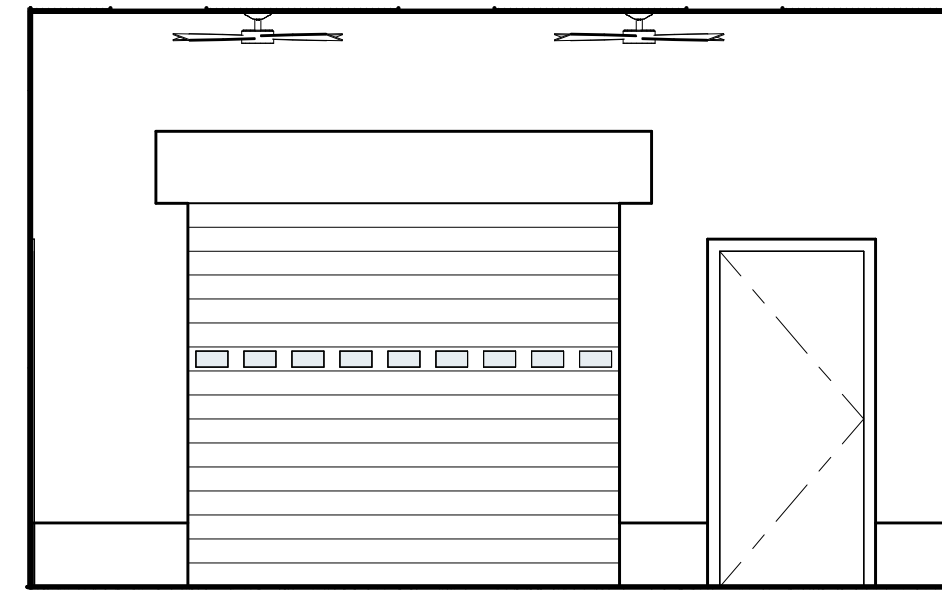
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tucson arizona 85719
5 2 0 . 8 8 2 . 9 9 4 4



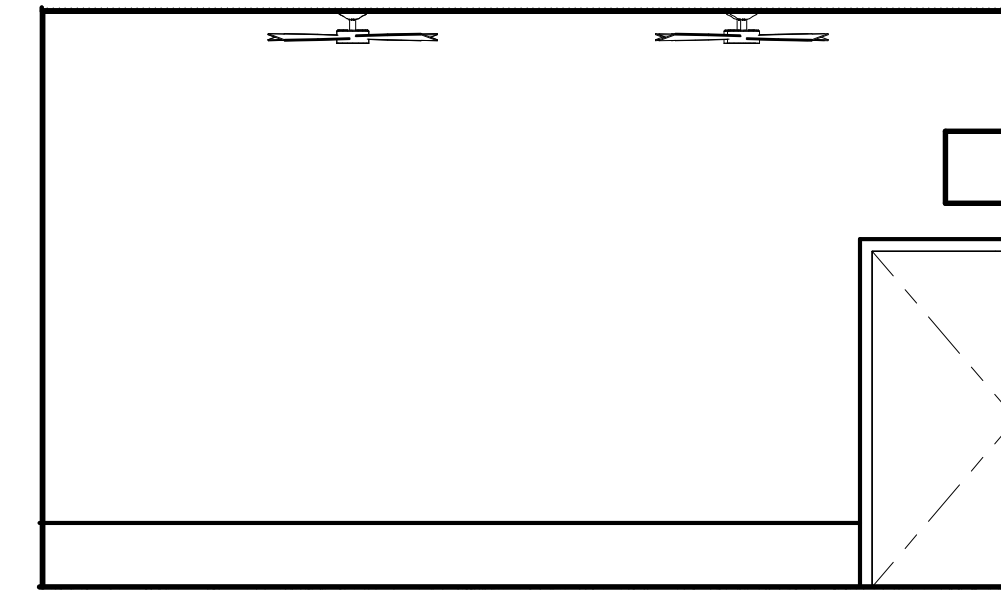
(D) WEST ELEVATION



(C) SOUTH ELEVATION



(B) EAST ELEVATION

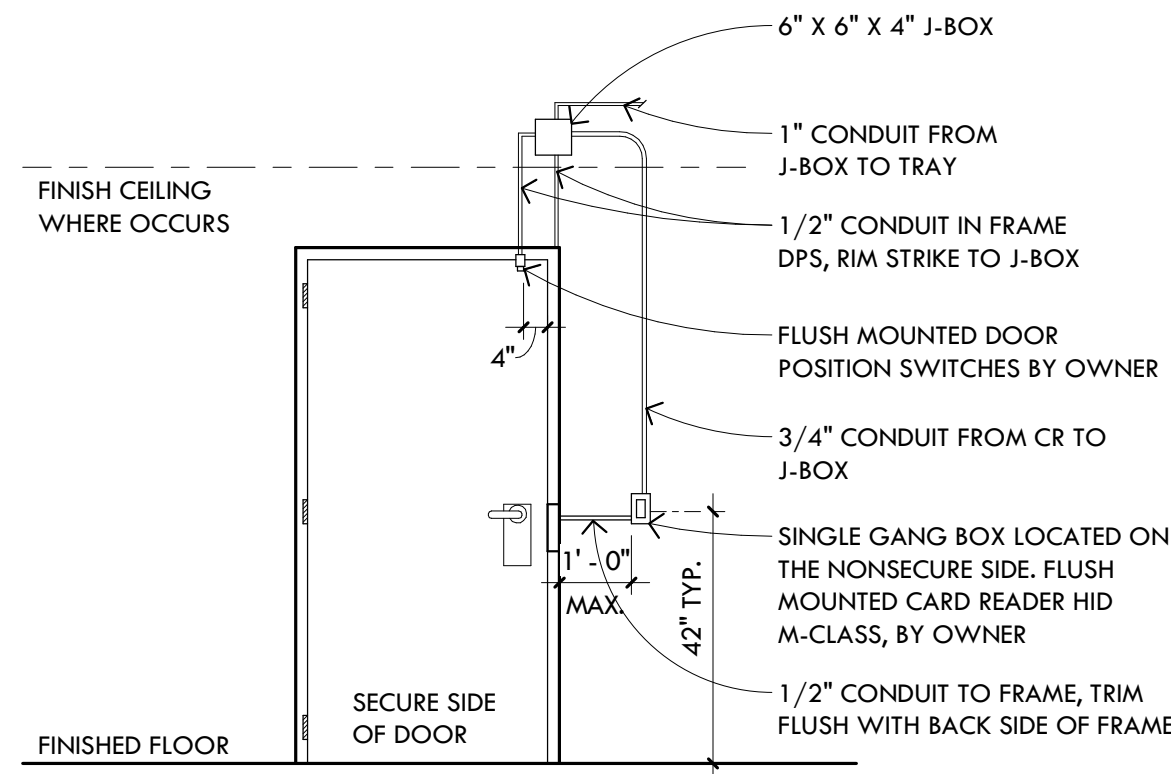


(A) NORTH ELEVATION

Fitness

3

1/4" = 1'-0" 0 4 12'



- NOTES:
1. ALL RACEWAY MUST BE FLUSHED IN UNLESS OTHERWISE NOTED.
 2. ALL DEVICES 12/24 VDC FIELD SELECTABLE.
 3. PROVIDE SINGLE GANG BOX ON SECURE SIDE OF DOOR WHEN OWNER REQUESTS SWIPE-IN/ SWIPE-OUT SERVICE. FLUSH MOUNT CARD READER H.I.D. M-CLASS BY OWNER.

Door Card Reader

4
A3.3

3/8" = 1'-0" 0 2 8'

Tubac Fire Station #1
2227 I-19 Frontage Rd., Tubac, AZ 85646
95% Construction Documents

NOT FOR CONSTRUCTION

PROJECT NO:
23.21.00
DATE:
NOVEMBER 2024

#	DATE	DESCRIPTION	ISSUED TO

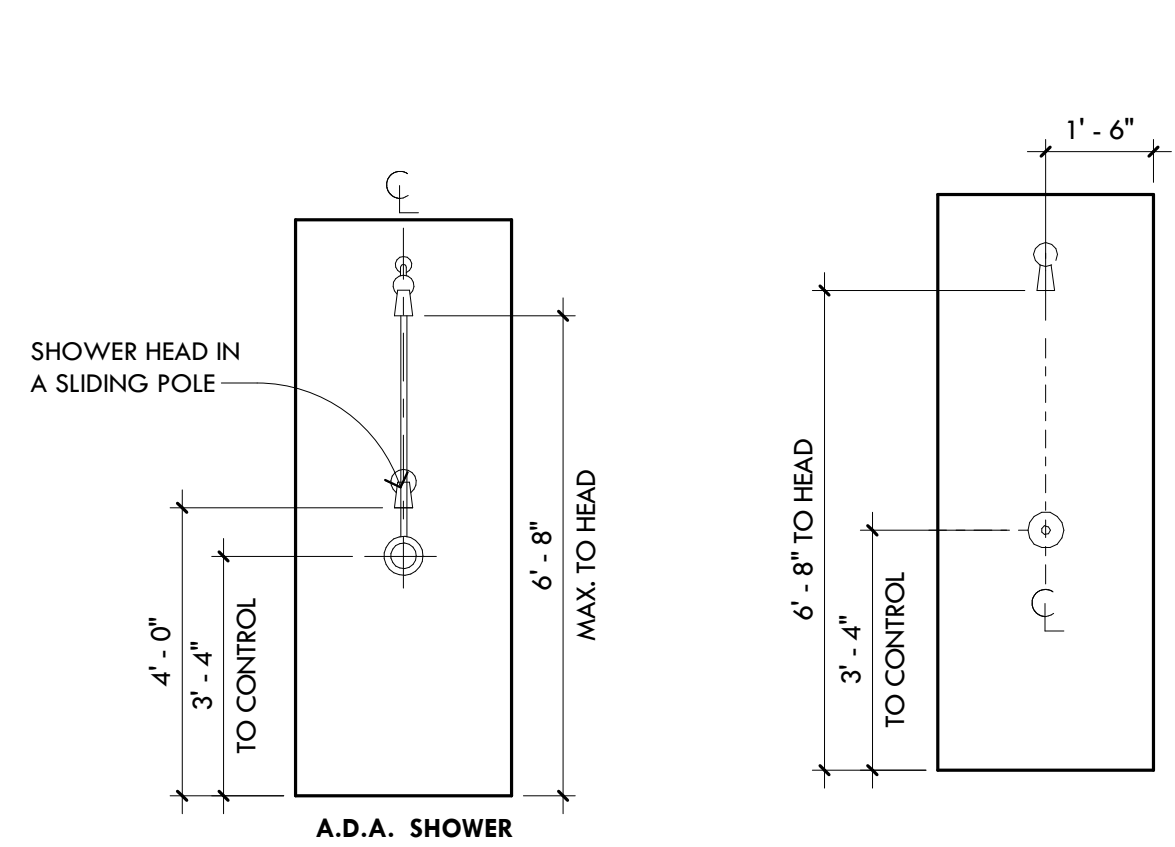
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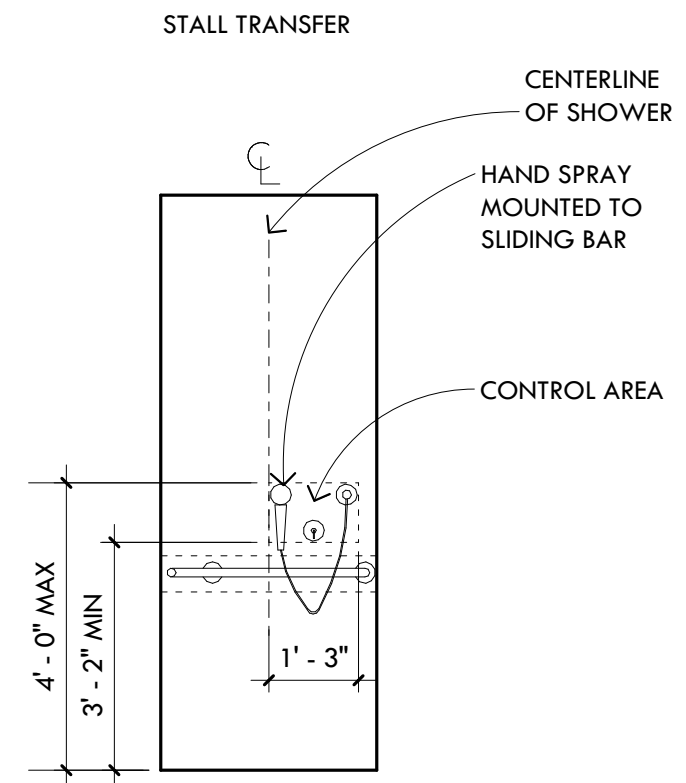
Interior Elevations

A3.3

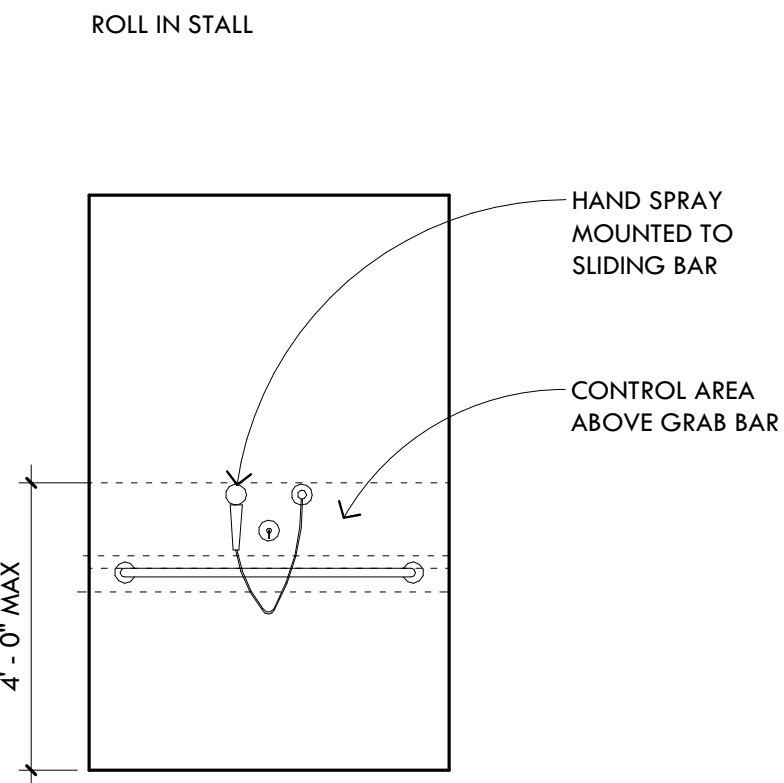


A.D.A. SHOWER

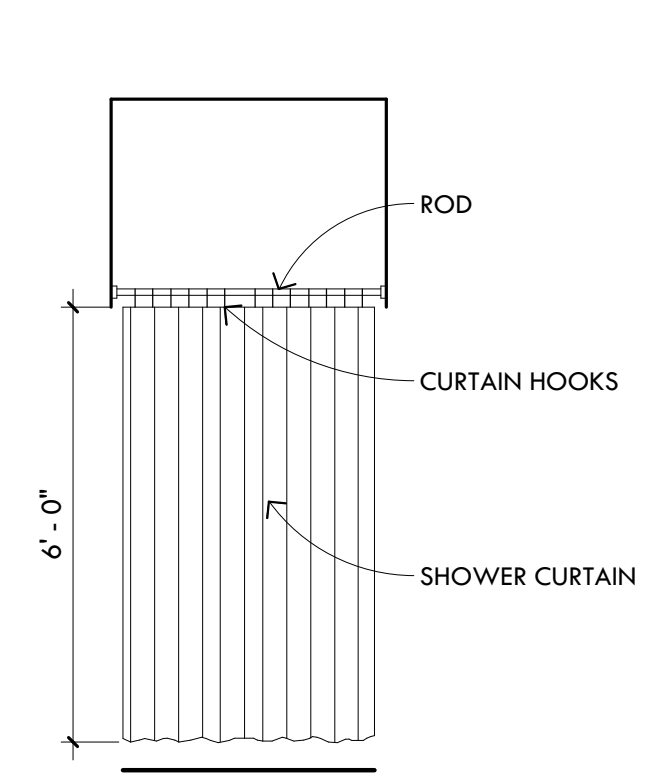
TYPICAL PLUMBING FIXTURE MOUNTING DIMENSIONS



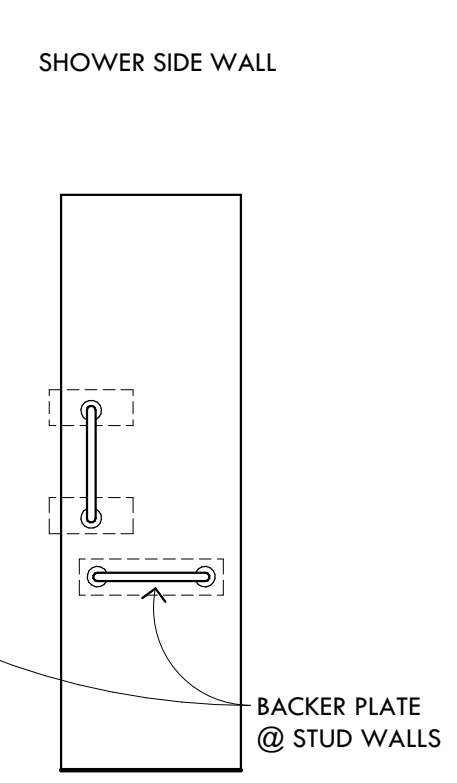
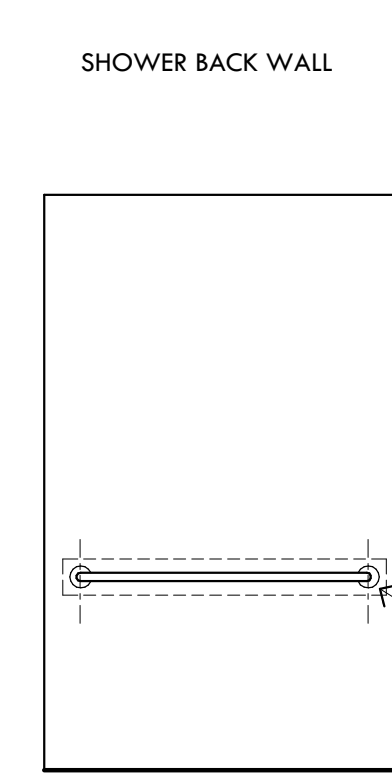
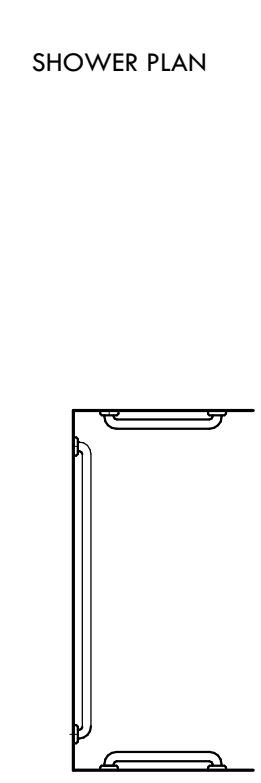
SH ACCESSIBLE SHOWER HEAD



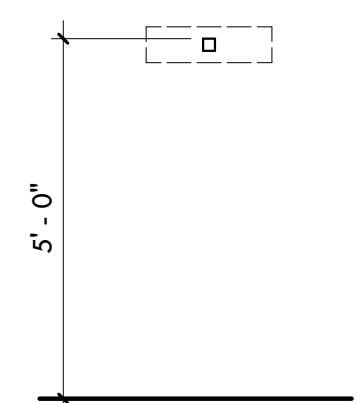
CR1 SHOWER CURTAIN ROD



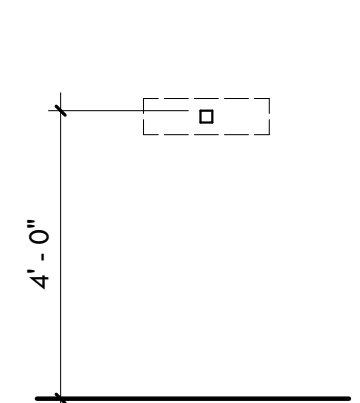
SC SHOWER CURTAIN



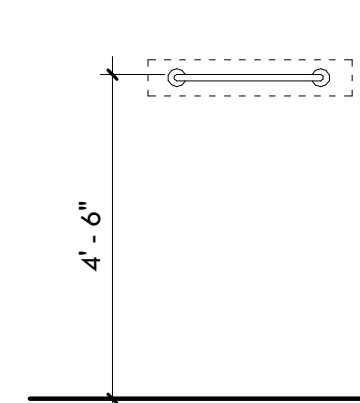
GB SHOWER GRAB BARS



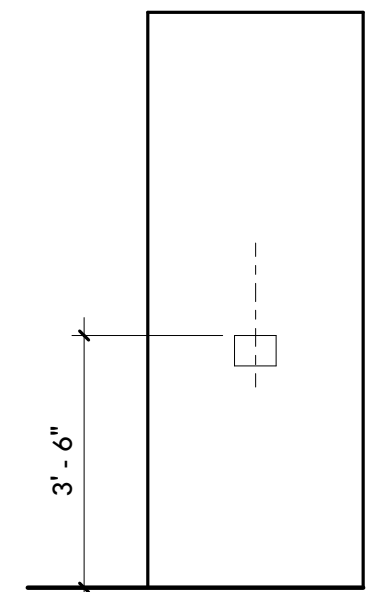
RH1 ROBE HOOK



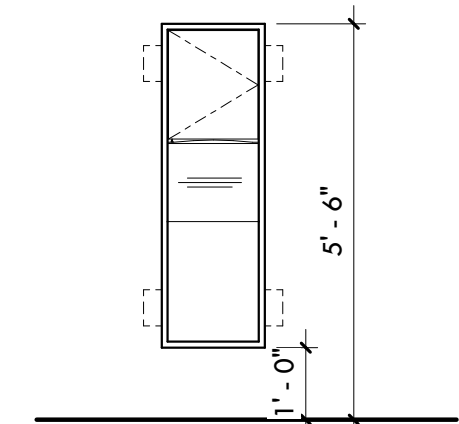
RH2 A.D.A. ROBE HOOK



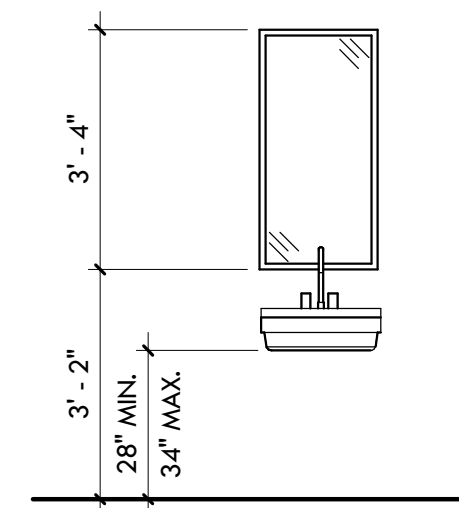
TB1 TOWEL BAR



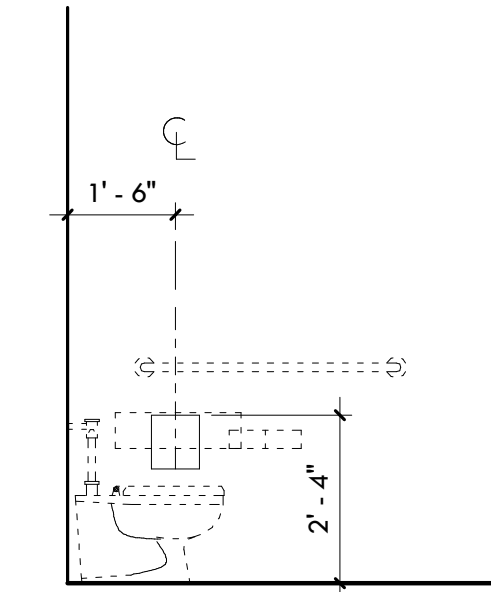
SD2 RECESSED SOAP DISH AND BAR



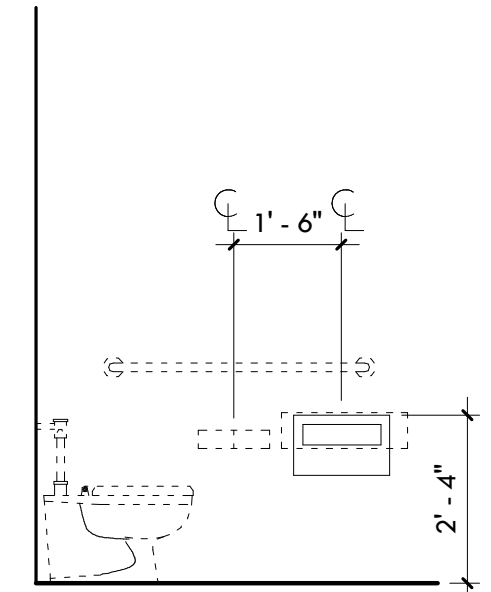
PT2 FOLDED DISPOSABLE HAND TOWEL DISPENSER W/ TRASH RECEPTACLE



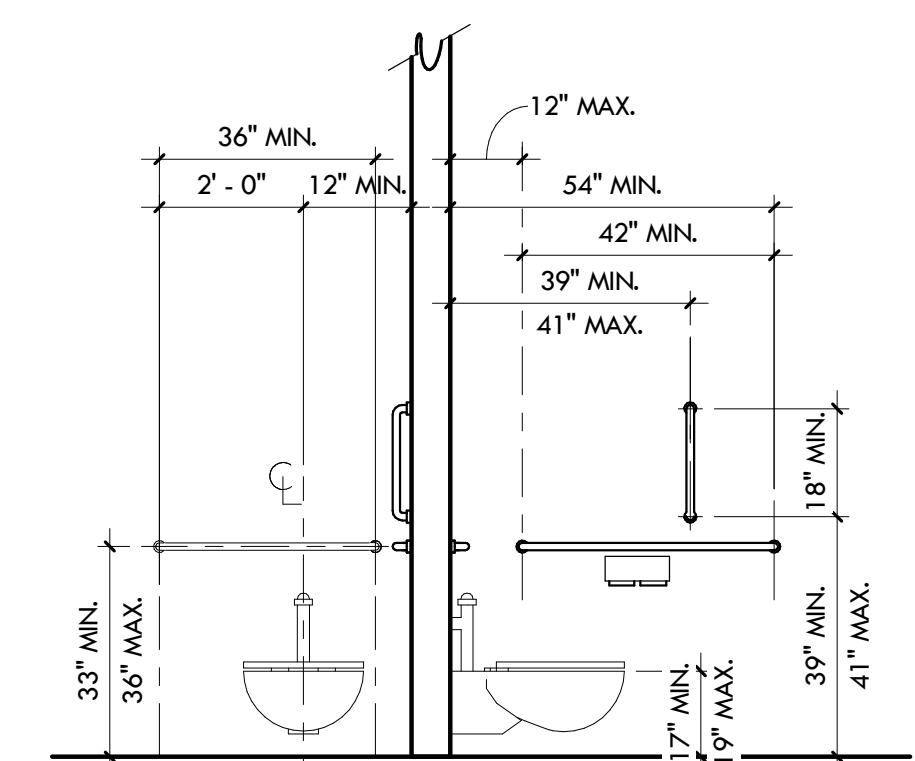
FM FRAMED MIRROR



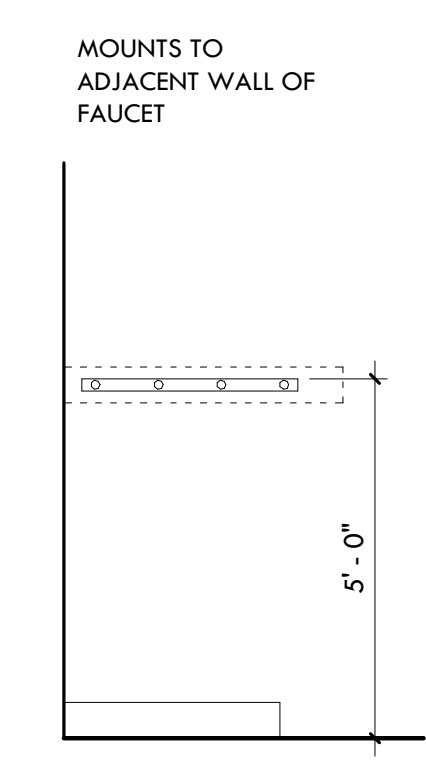
ND1 SANITARY NAPKIN DISPOSAL



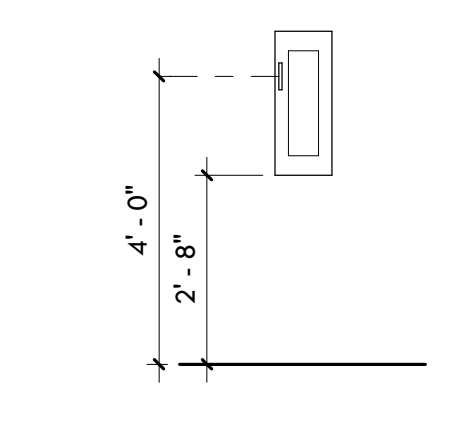
SC1 TOILET SEAT COVER DISPENSER



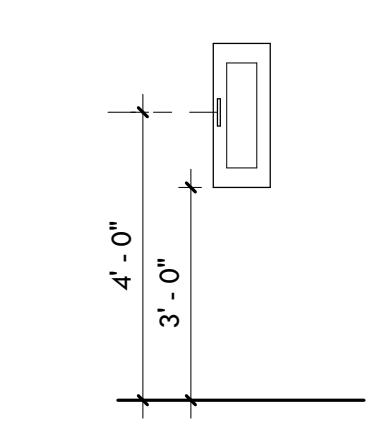
GB WATER CLOSET GRAB BARS



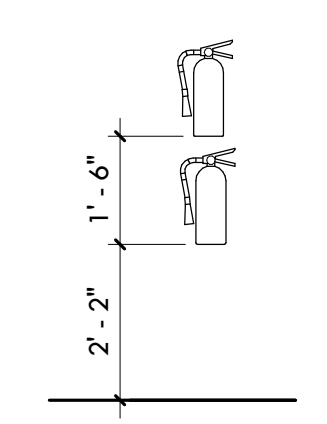
MB1 MOP HOLDER



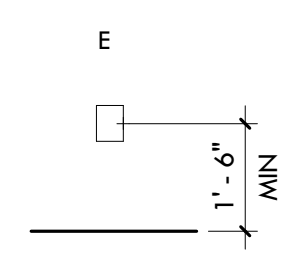
FEC1 FIRE EXTINGUISHER CABINET IF PULL IS 4" HIGHER THAN THE DOOR CENTER



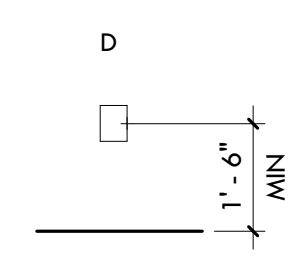
FEC2 FIRE EXTINGUISHER CABINET IF PULL IS CENTERED ON DOOR



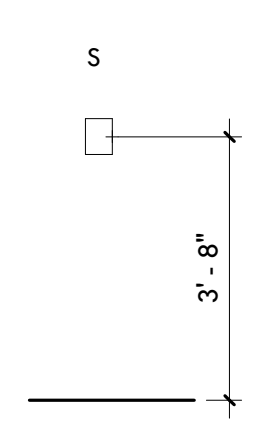
FE FIRE EXTINGUISHER



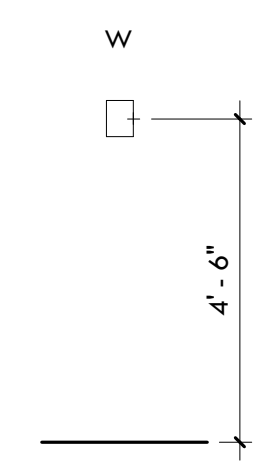
E ELECTRICAL OUTLET



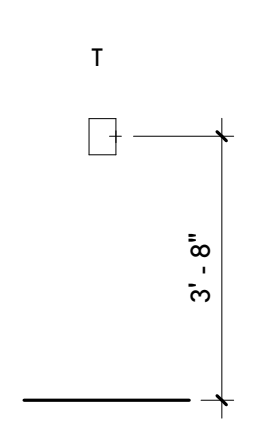
D DATA



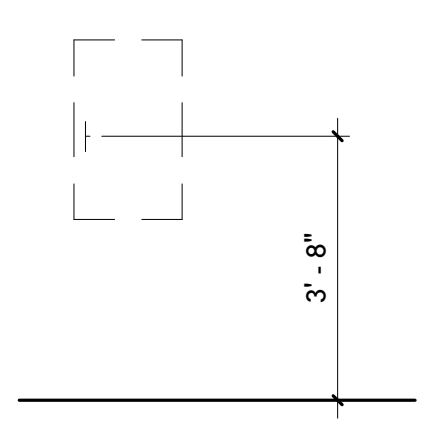
S LIGHT SWITCH



W WALL PHONE



T THERMOSTAT



P PANEL

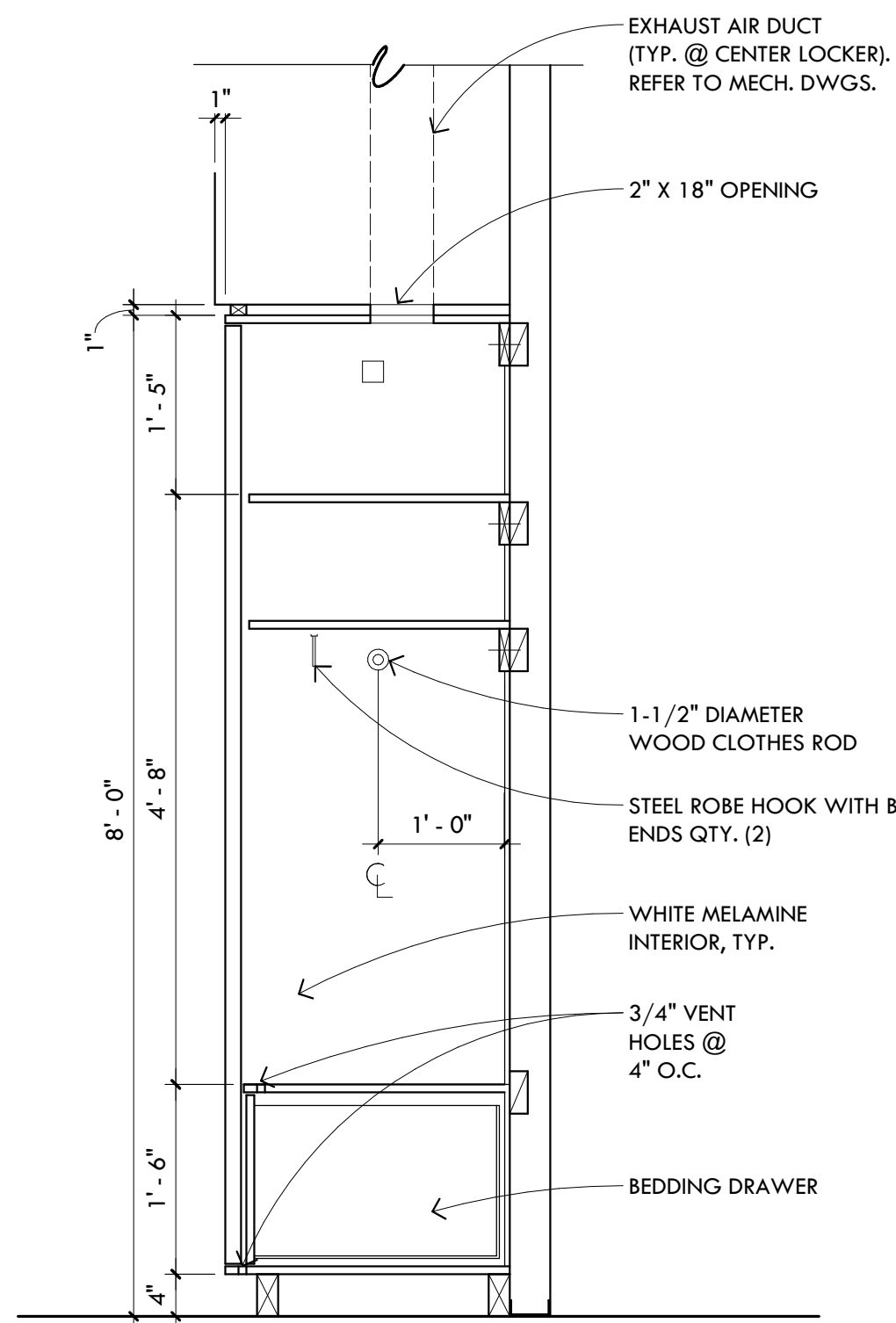
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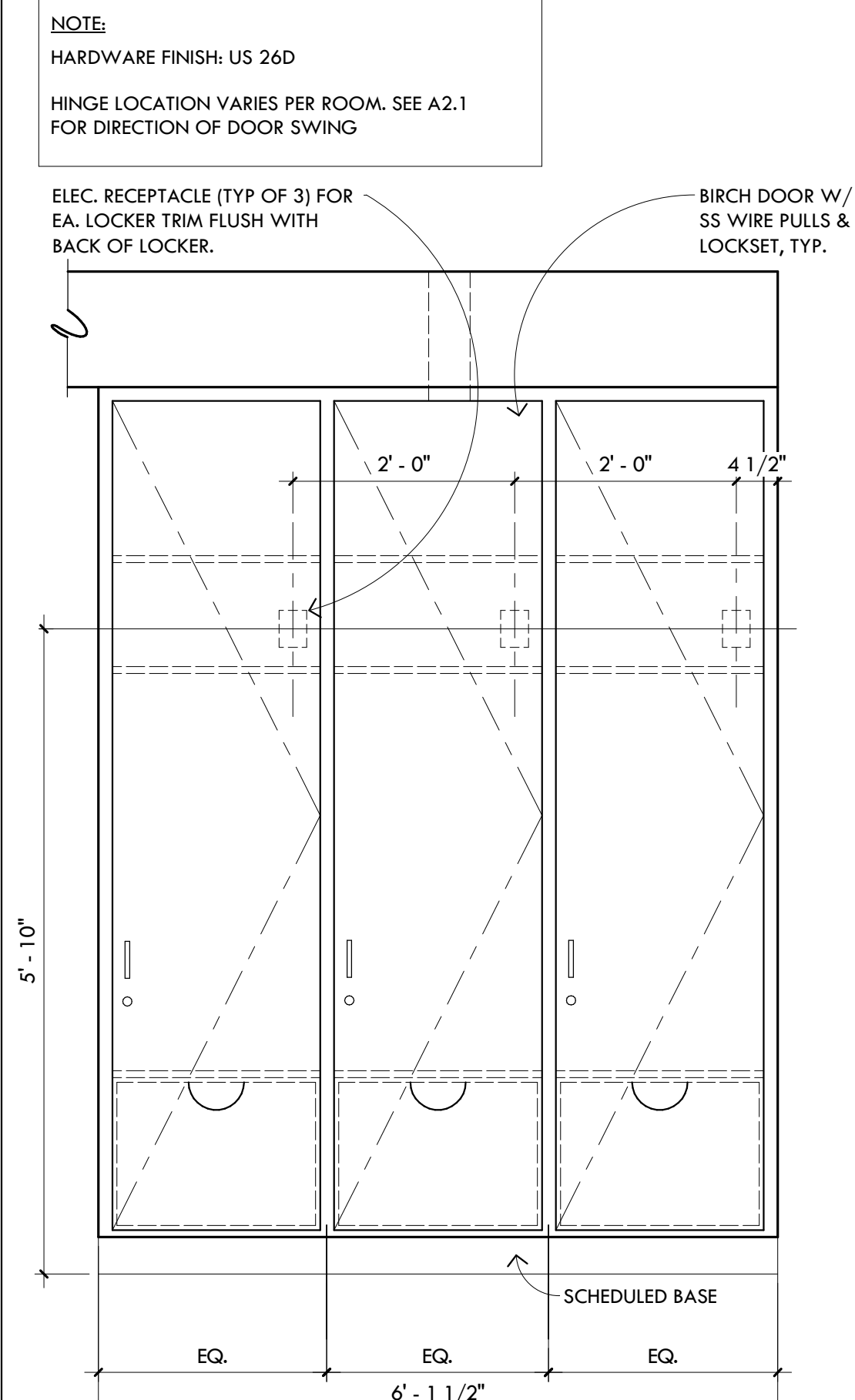
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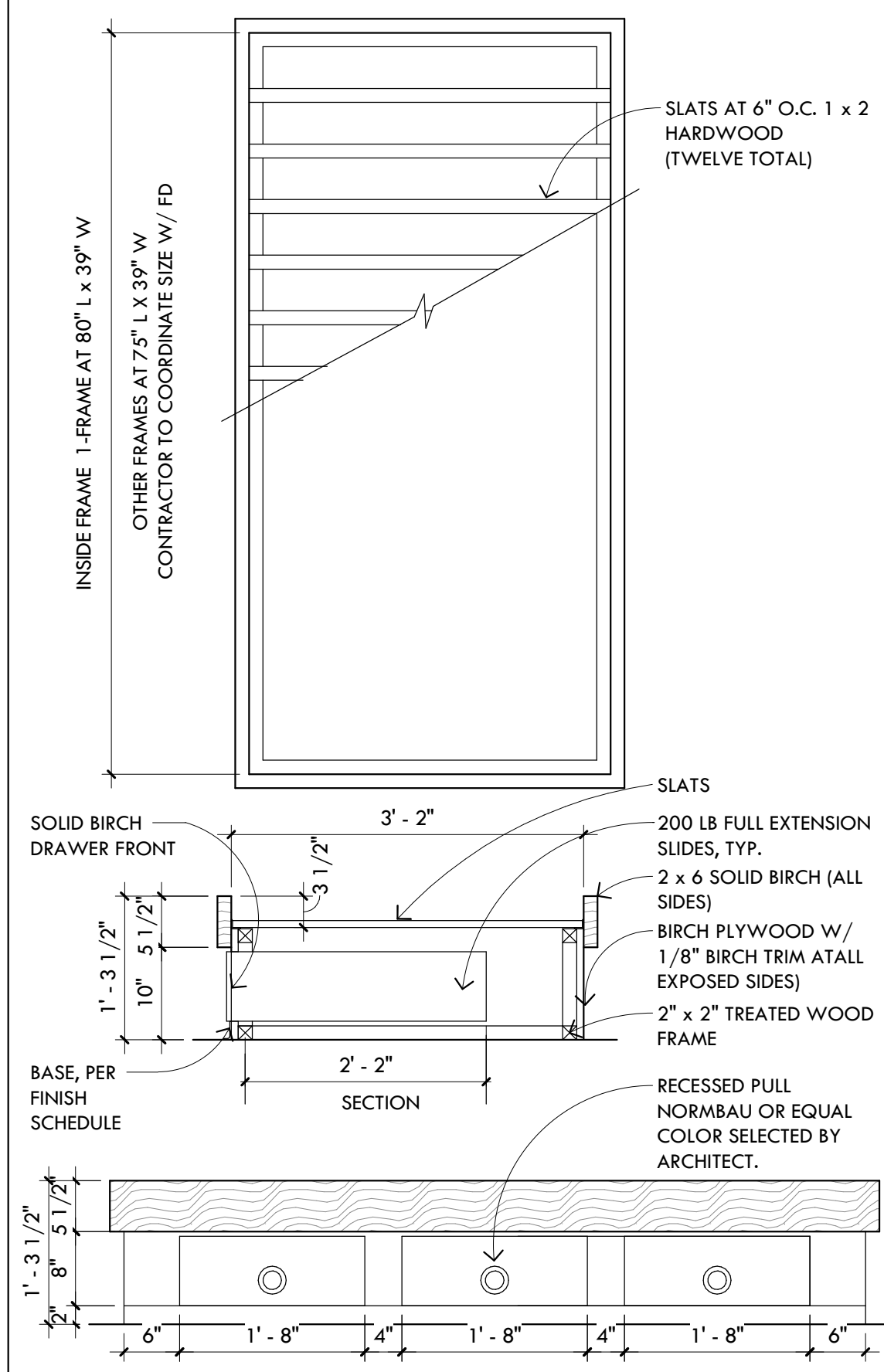
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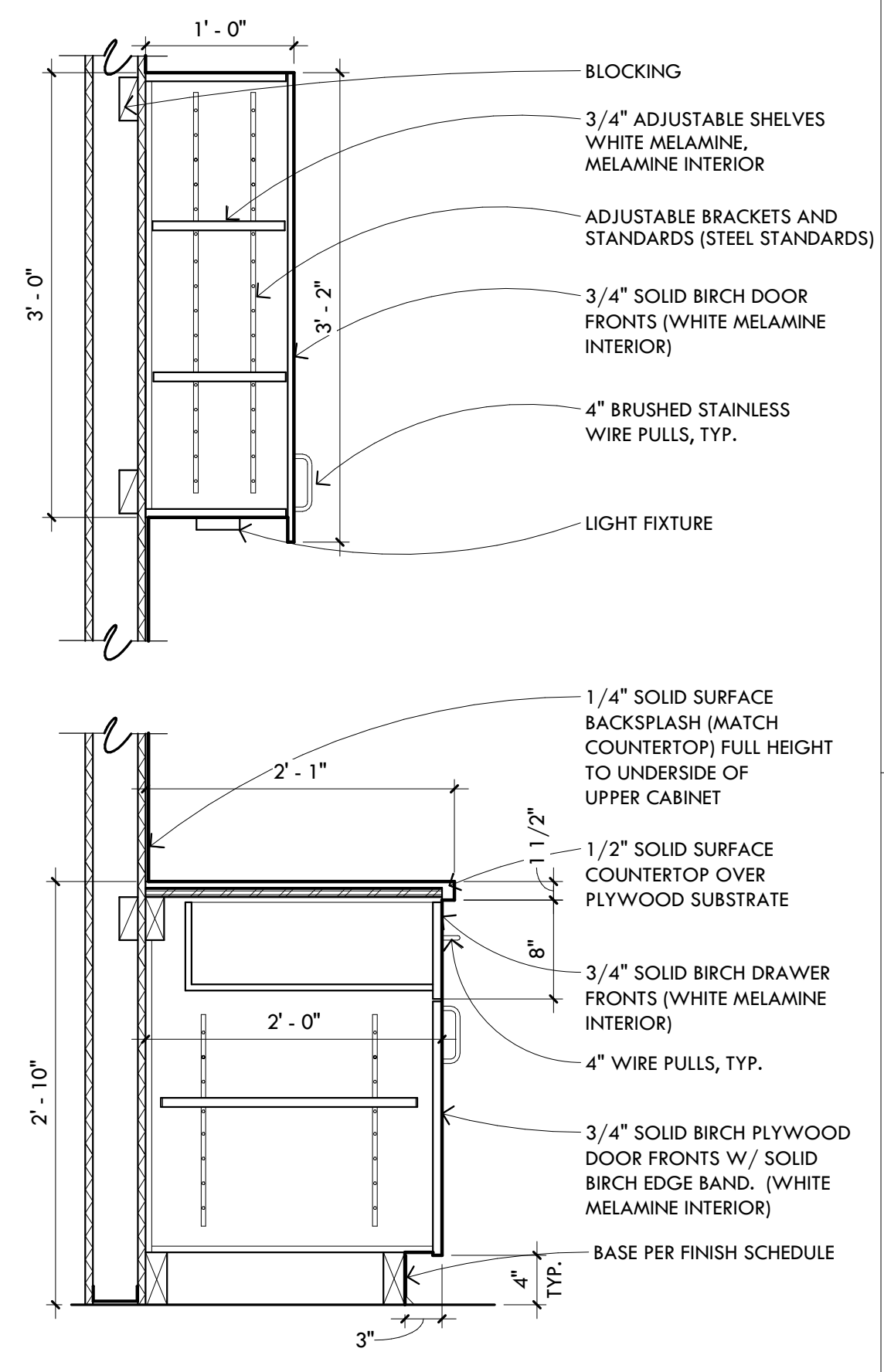
4 Lockers Section
 A3.1 A3.5
 3/4" = 1'-0" 0 1' 4'



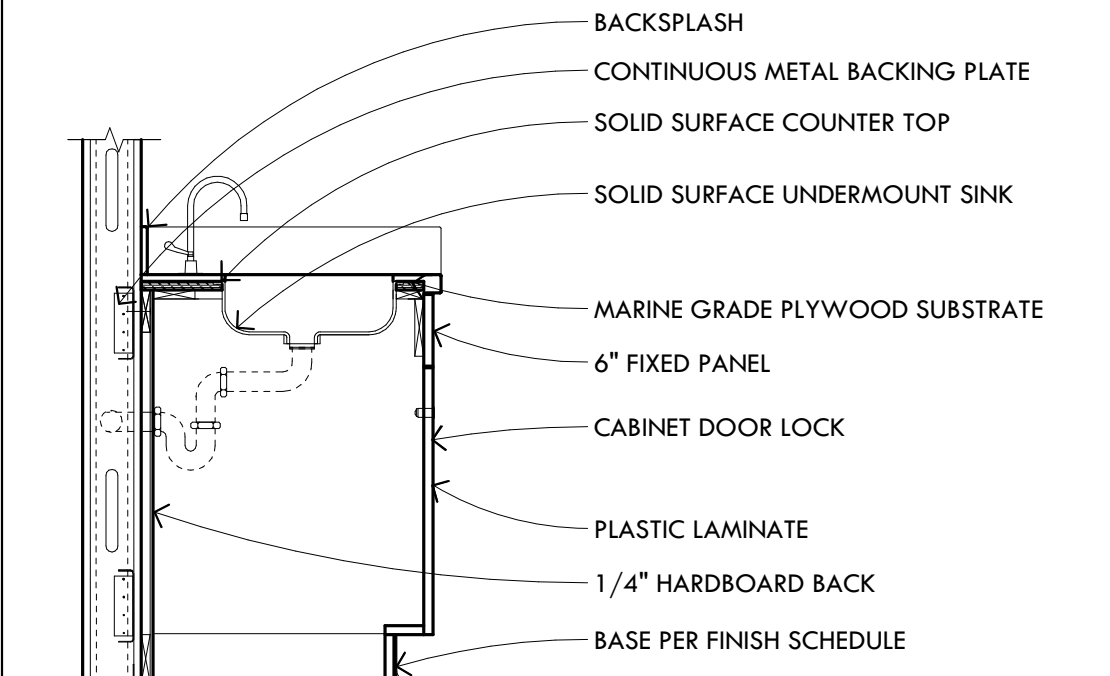
3 Dorm Lockers Elevation
 A3.2 A3.5
 3/4" = 1'-0" 0 1' 4'



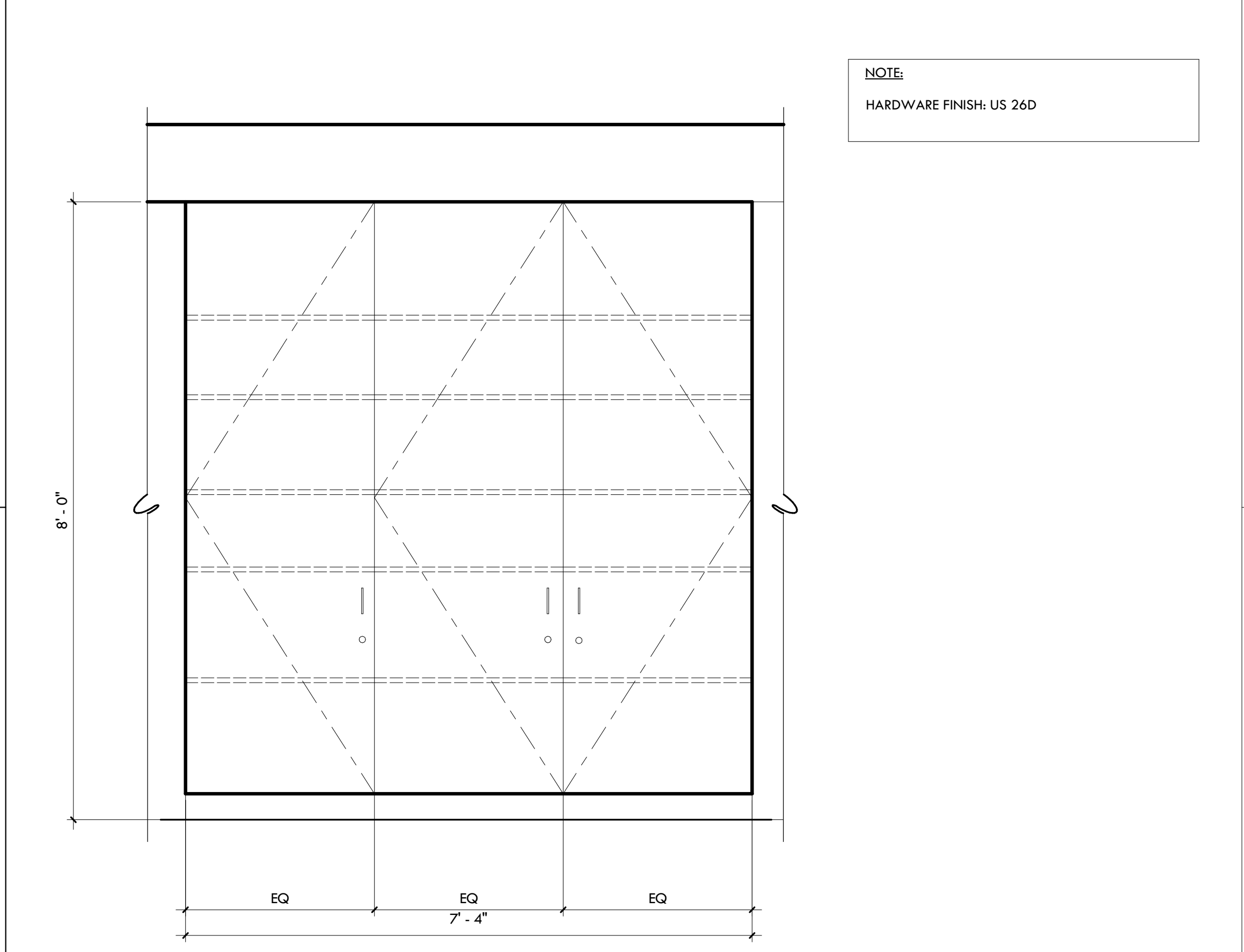
2 Dorm Bed w/Drawers
 A3.1 A3.5
 3/4" = 1'-0" 0 1' 4'



1 Millwork Cabinet
 A3.2 A3.5
 1" = 1'-0" 0 1' 3'



6 Base Cabinet with Sink
 A3.2 A3.5
 3/4" = 1'-0" 0 1' 4'



5 Pantry Elevation
 A3.5
 3/4" = 1'-0" 0 1' 4'

Breckenridge
 architects
 planners

1735 e ft. lowell rd. #12
 tucson arizona 85719
 520.882.9944

Tubac Fire Station #1
 2227 I-19 Frontage Rd., Tubac, AZ 85646
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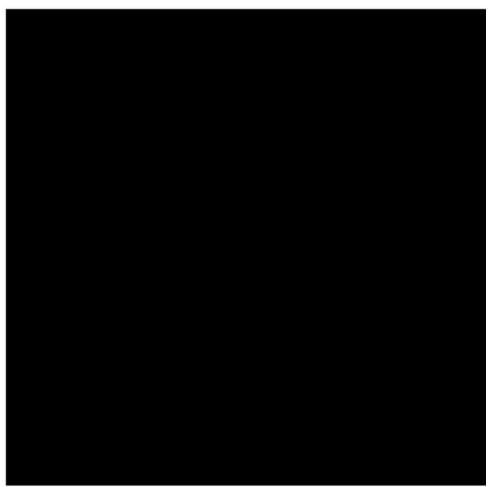
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Millwork

A3.5



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Reflected Ceiling
Plan

A4.1

General Notes

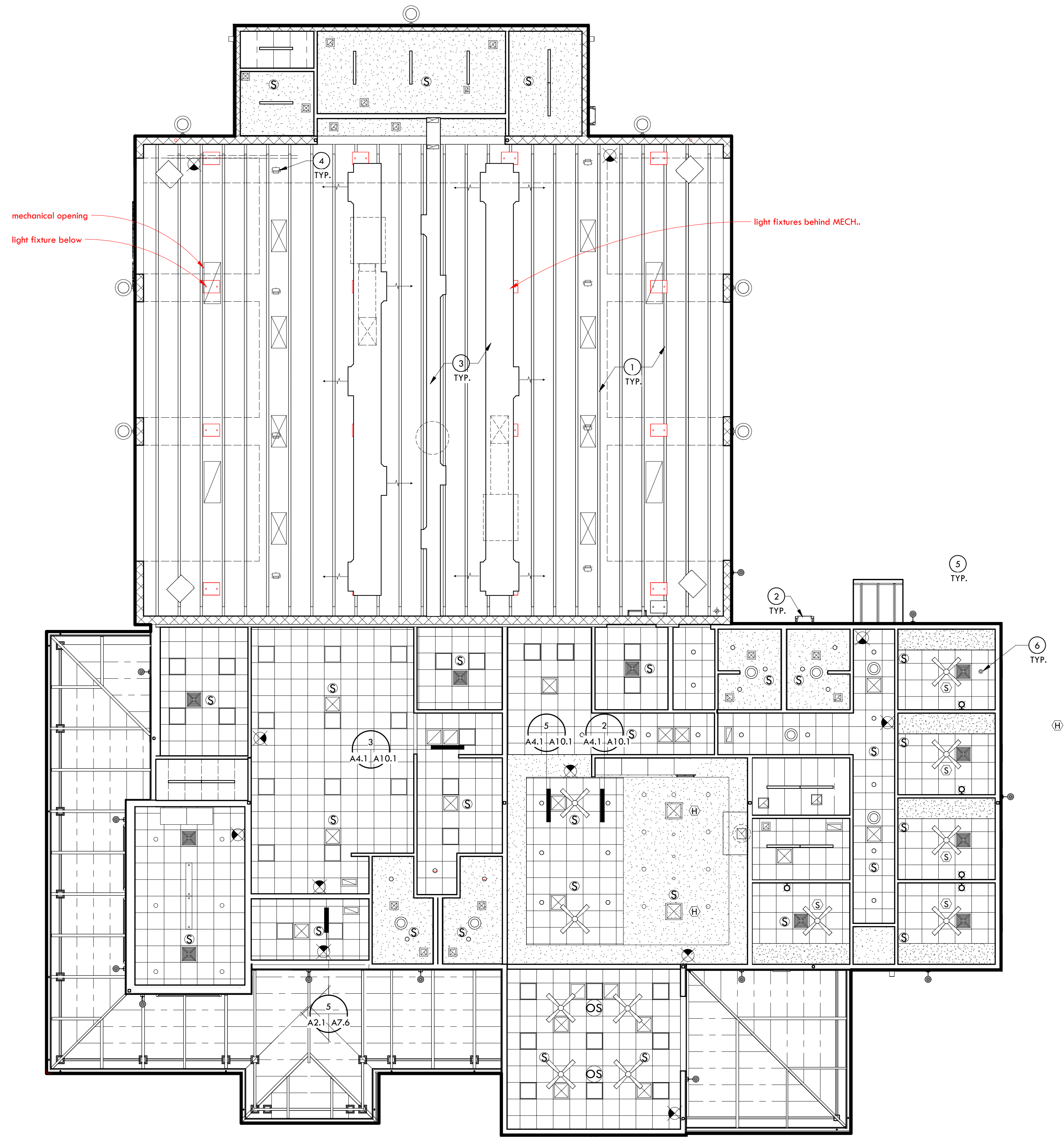
1. ALL CEILING HEIGHTS ARE NOTED ON THE FINISH SCHEDULE UNLESS IT IS OPEN STRUCTURE.
4. LOCATE ALL CEILING FIXTURES & MECHANICAL OPENINGS PER ARCHITECTURAL REFLECTED CEILING PLAN.
5. ALL CEILING GRIDS TO BE CENTERED BETWEEN WALLS U.N.O. CEILING PARTIAL TILES AT ROOM PERIMETERS SHALL NOT BE LESS THAN 6" IN EITHER DIMENSION.
6. FOR LOCATION OF EXIT LIGHTS AND EMERGENCY ILLUMINATION, REFER TO ELECTRICAL PLAN. ALL EXIT LIGHTS TO BE WALL MOUNTED, ABOVE DOOR U.N.O. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
7. 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC. ALL CEILING ELEMENTS TO BE PLACED IN THE CENTER OF CEILING TILE OR CENTER OF GYP. BOARD CEILING AREA U.N.O.
8. CENTER SPRINKLER HEAD IN TILE IN BOTH DIRECTIONS (SPRINKLER HEADS ARE NOT SHOWN ON REFLECTED CEILING PLAN).
9. ALL ACCESS PANELS MAY NOT BE SHOWN ON REFLECTED CEILING PLANS. THE GENERAL CONTRACT SHALL COORDINATE ALL REQUIRED ACCESS PANELS WHETHER SHOWN OR NOT.
11. SMOKE DETECTORS TO BE LOCATED 36" AWAY FROM CEILING FAN BLADES AND AIR SUPPLY REGISTERS.

Keynotes

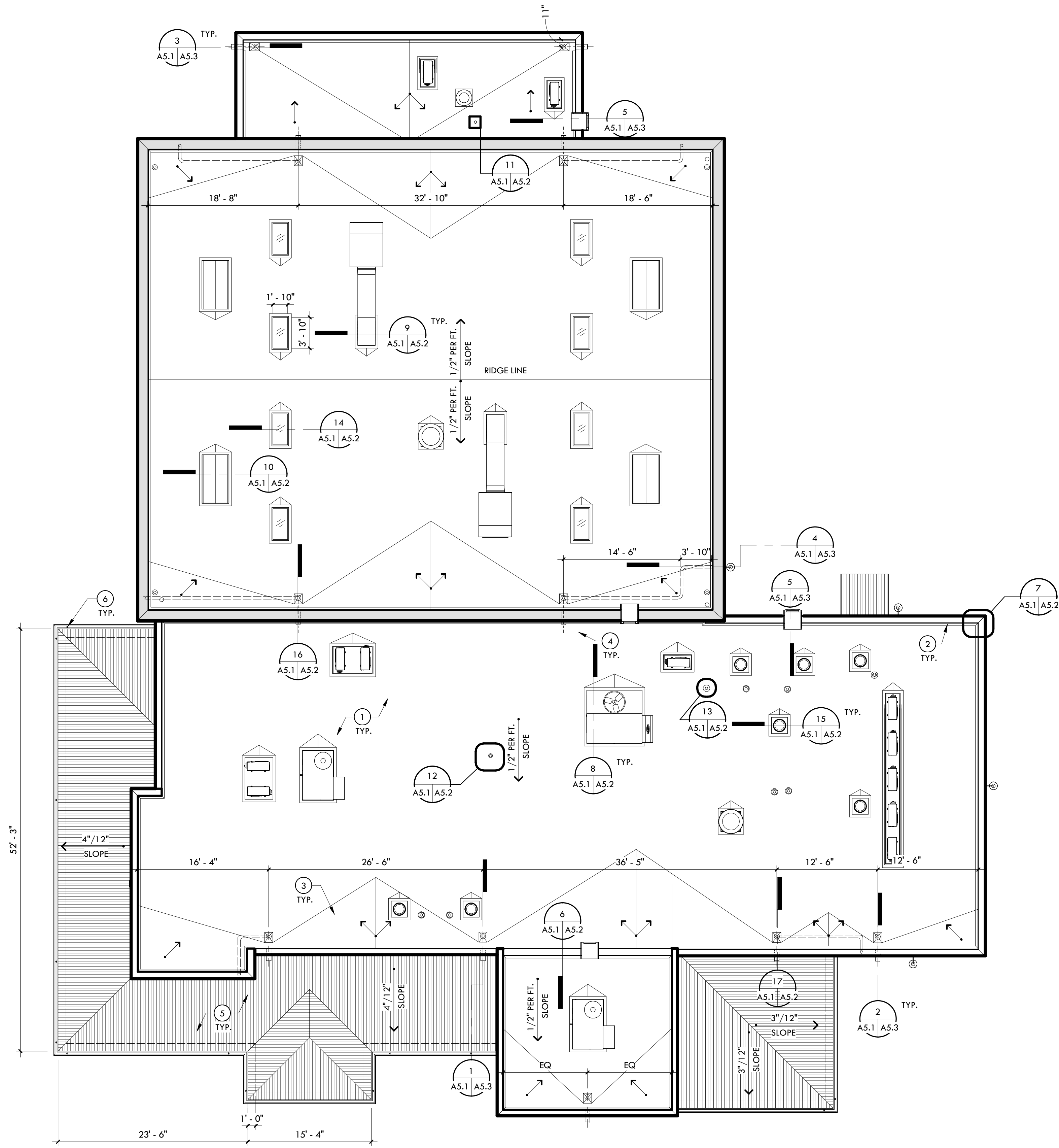
- 1 EXPOSED STRUCTURE
- 2 ROOF ACCESS LADDER
- 3 EXPOSED MECH, DUCTWORK, SEE MECH.
- 4 POWER HOSE AND AIR REELS MOUNTED ON A 24"x24"x1/4" STL. PLATE SUSPENDED FROM STRUCTURE WITH UNISTRUTS COORDINATE HEIGHT WITH OWNER
- 5 CAD ALERT DISPLAY- MOUNT J-BOX HORIZONTALLY, BOTTOM OF BOX
- 6 SPRINKLER HEAD

Legend

	LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE
	FLUORESCENT LIGHT FIXTURE (continuous duty)
	TRACK LIGHTING
	SMOKE DETECTOR
	CEILING OR PENDANT LIGHT
	(continuous duty)
	WALL MOUNTED LIGHT
	(continuous duty)
	RECESSED CAN LIGHT
	SPEAKER
	WALL MOUNTED EGRESS SIGNAGE
	CEILING MOUNTED EGRESS SIGNAGE
	EMER. EGRESS LIGHTING (wall pack)
	SUSPENDED CEILING GRID WITH 'AT' ACOUSTICAL TILE
	GYP. BOARD CEILING
	CEILING FAN
	FS FLAME SPREAD RATING
	GW/B GYP. WALL BOARD
	N/A NOT APPLICABLE
	PT PAINT (PER FINISH SCHEDULE)
	PSF POUNDS PER SQUARE FOOT
	SD SMOKE DEVELOPMENT RATING
	MECHANICAL GRILLE OR REGISTER
	CASSETTE FAN COIL
	SOLATUBE SKYLIGHT
	HEAT DETECTOR



Reflected Ceiling Plan
SCALE: 1/8" = 1'-0" 0' 8' 24'



Keynotes

- ① ROOFING SYSTEM
- ② CANT. STRIP
- ③ TAPERED INSULATION CRICKET - SLOPE 1/2" IN 12" MIN.
- ④ SPLASH PAN
- ⑤ METAL ROOF
- ⑥ RAIN CHAIN

Breckenridge
 g r o u p
 a r c h i t e c t s
 p l a n n e r s

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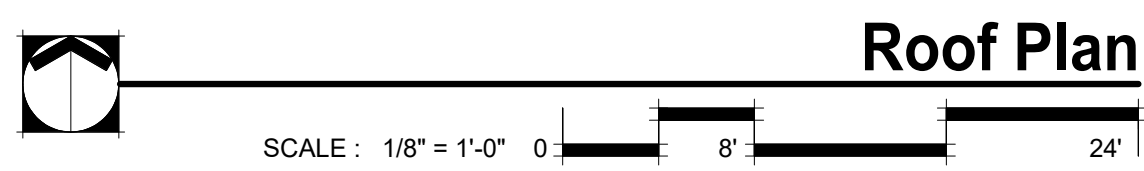
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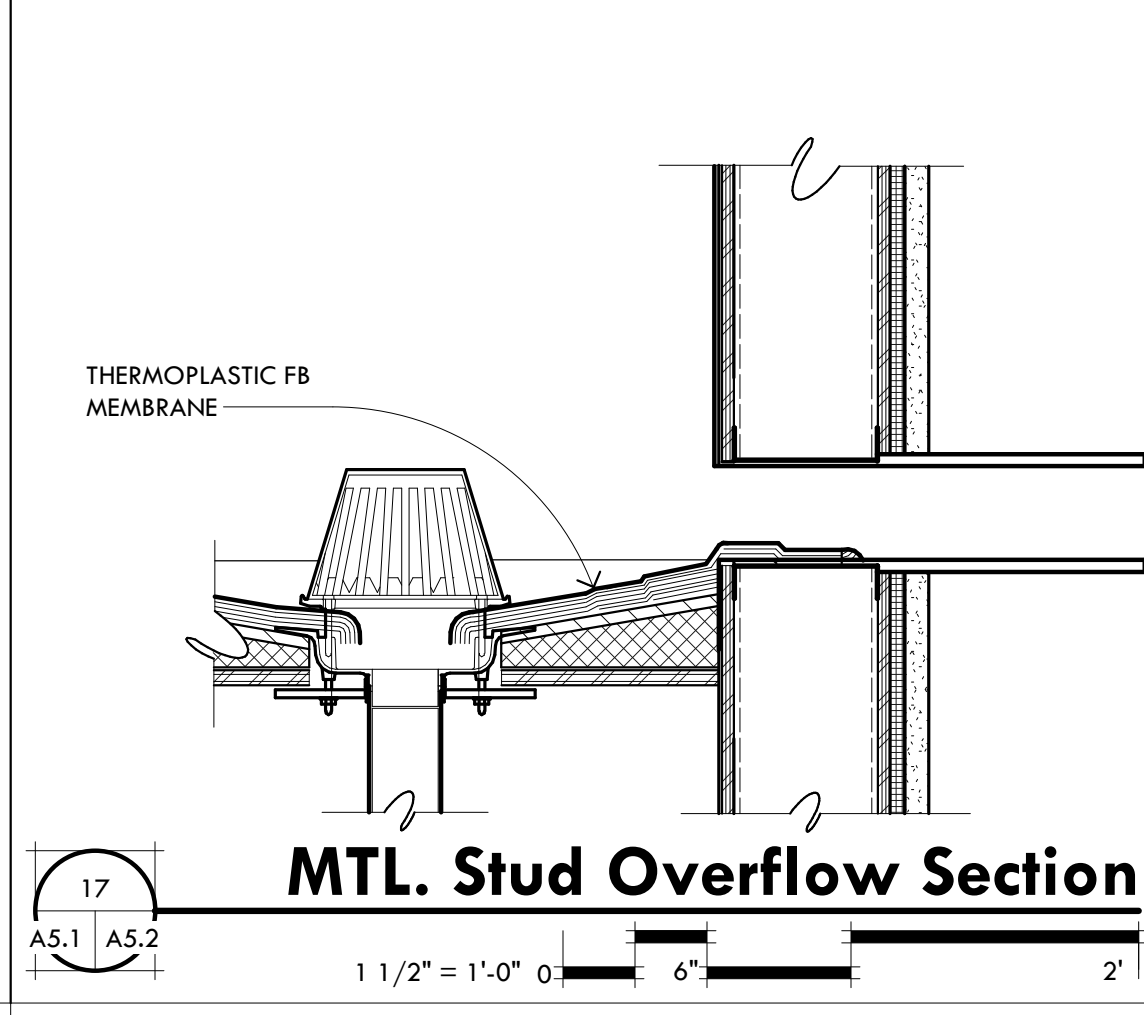
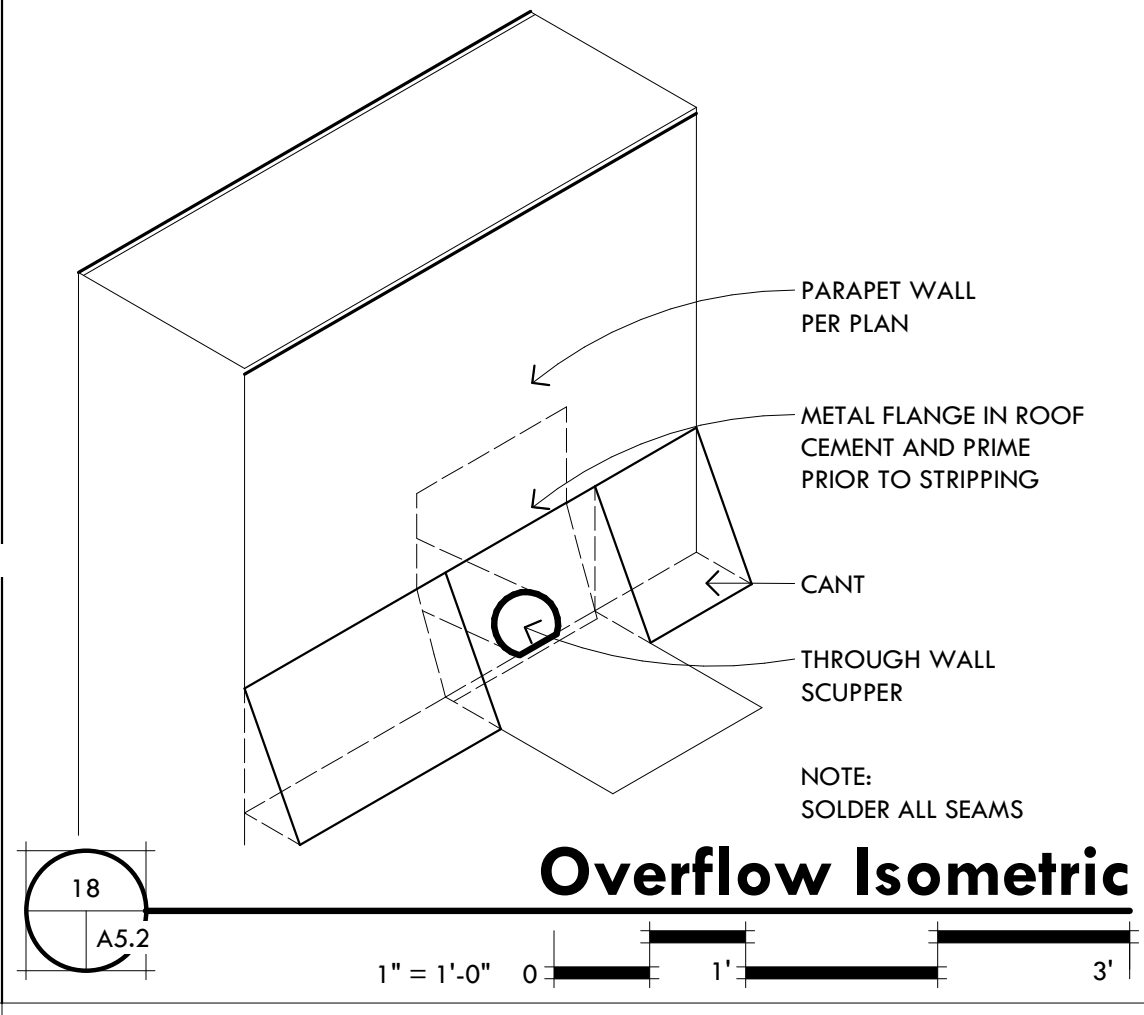
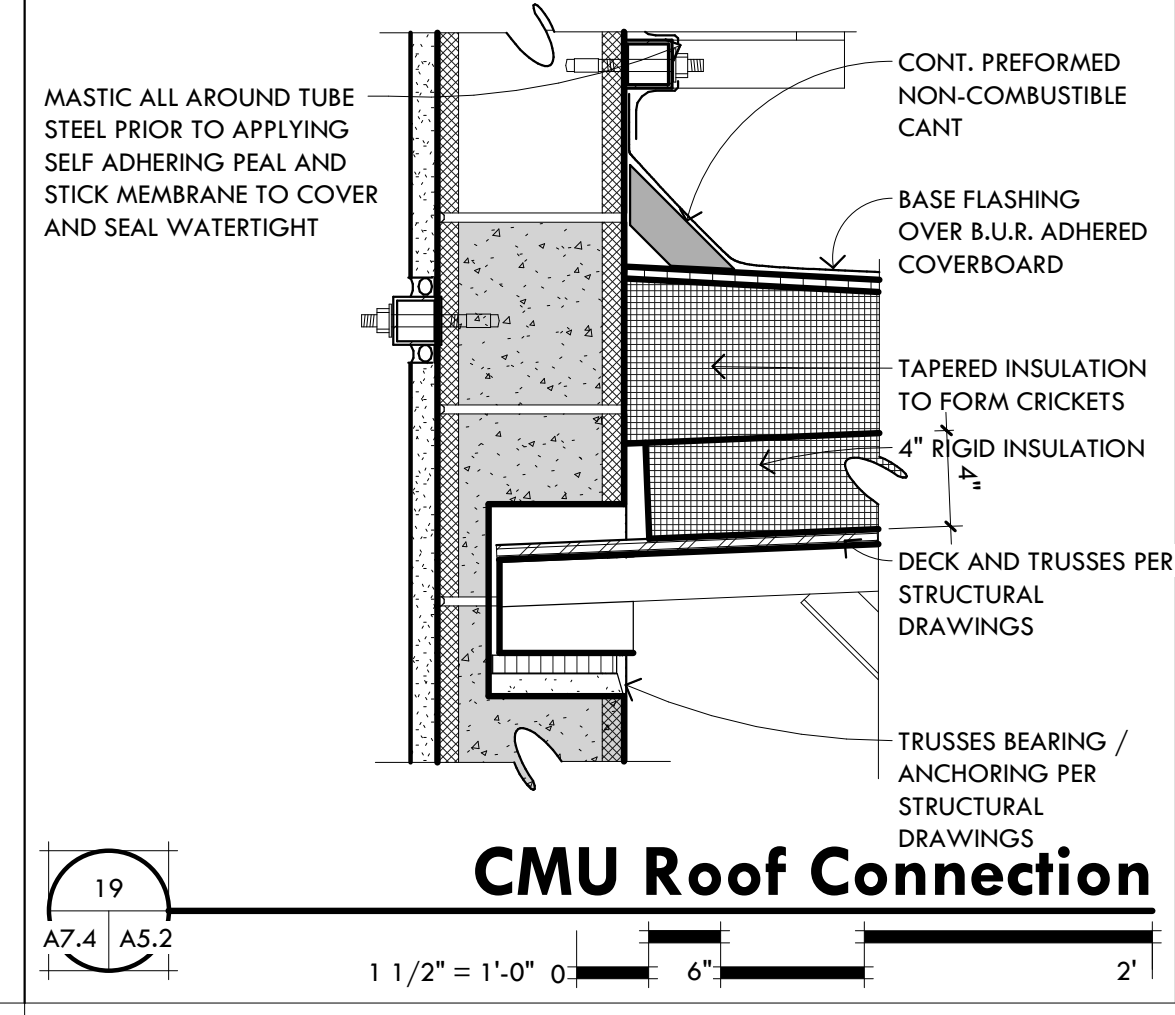
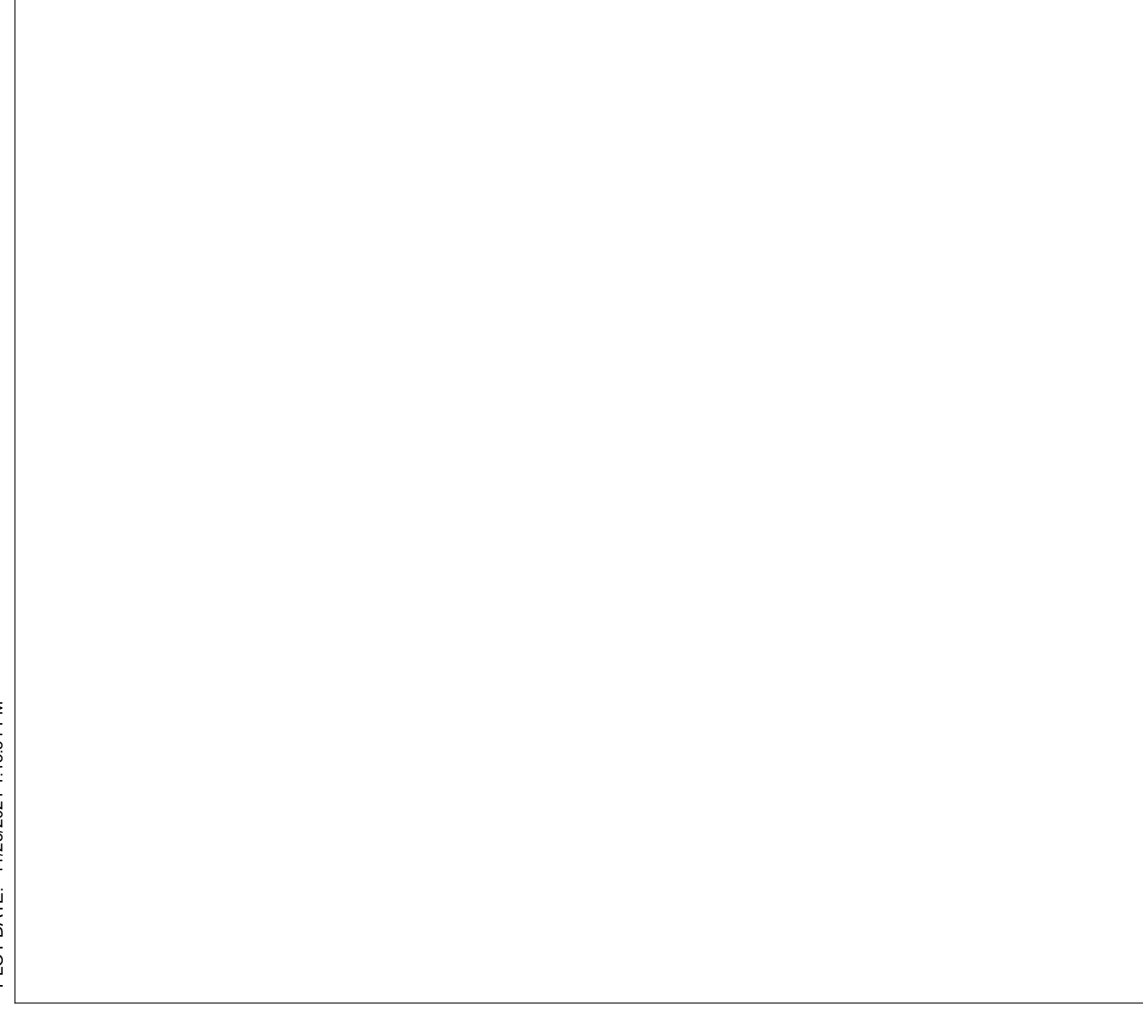
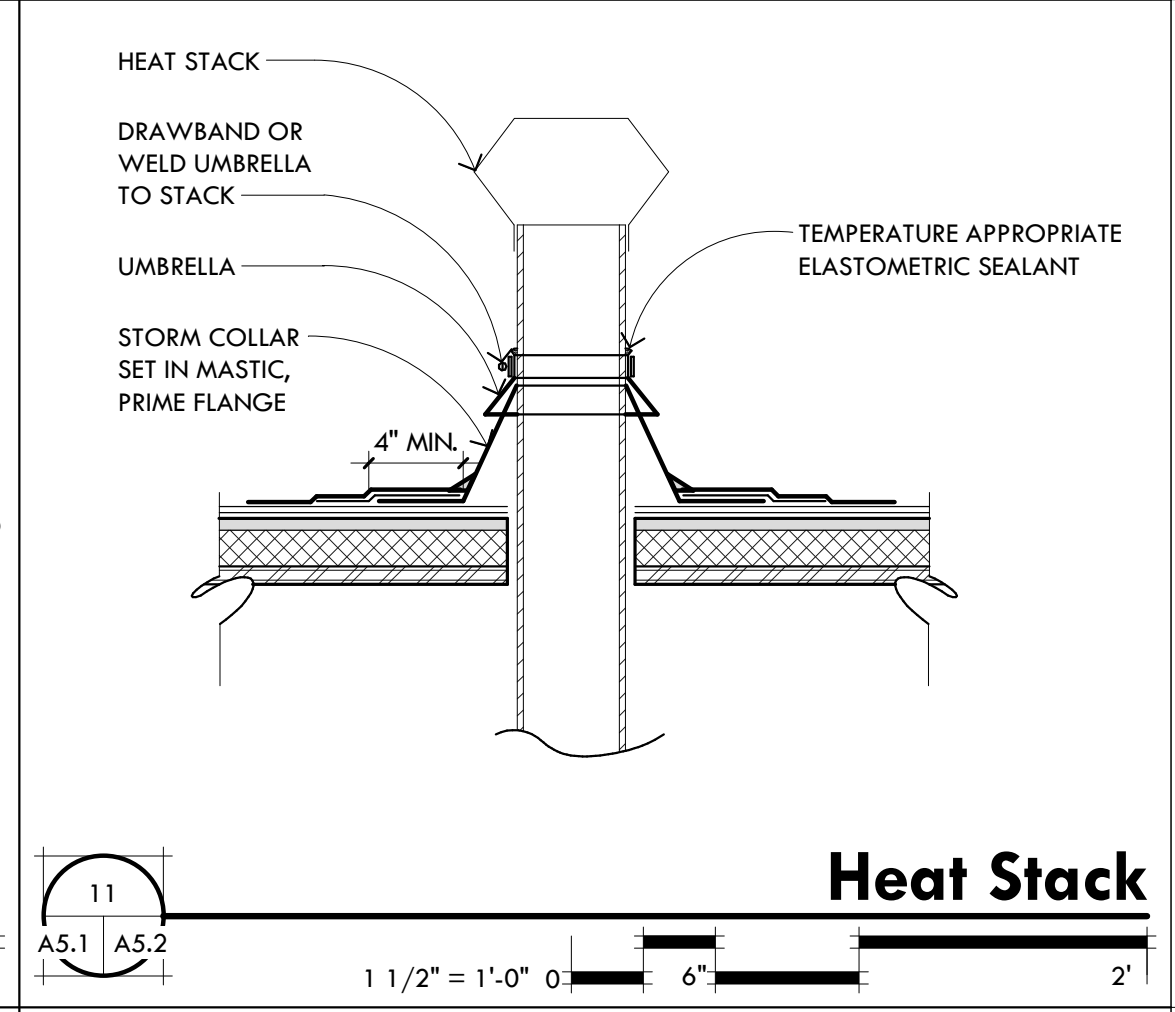
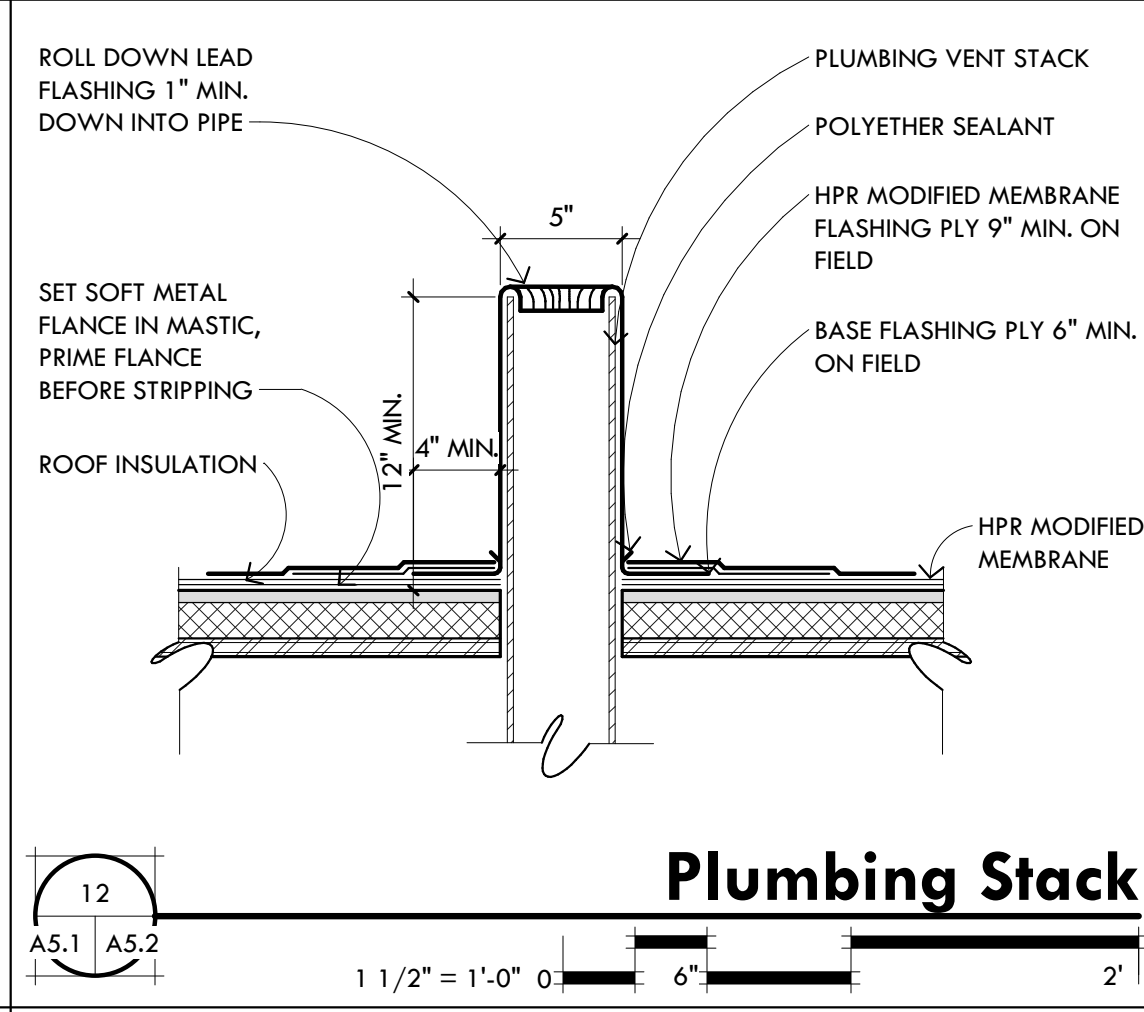
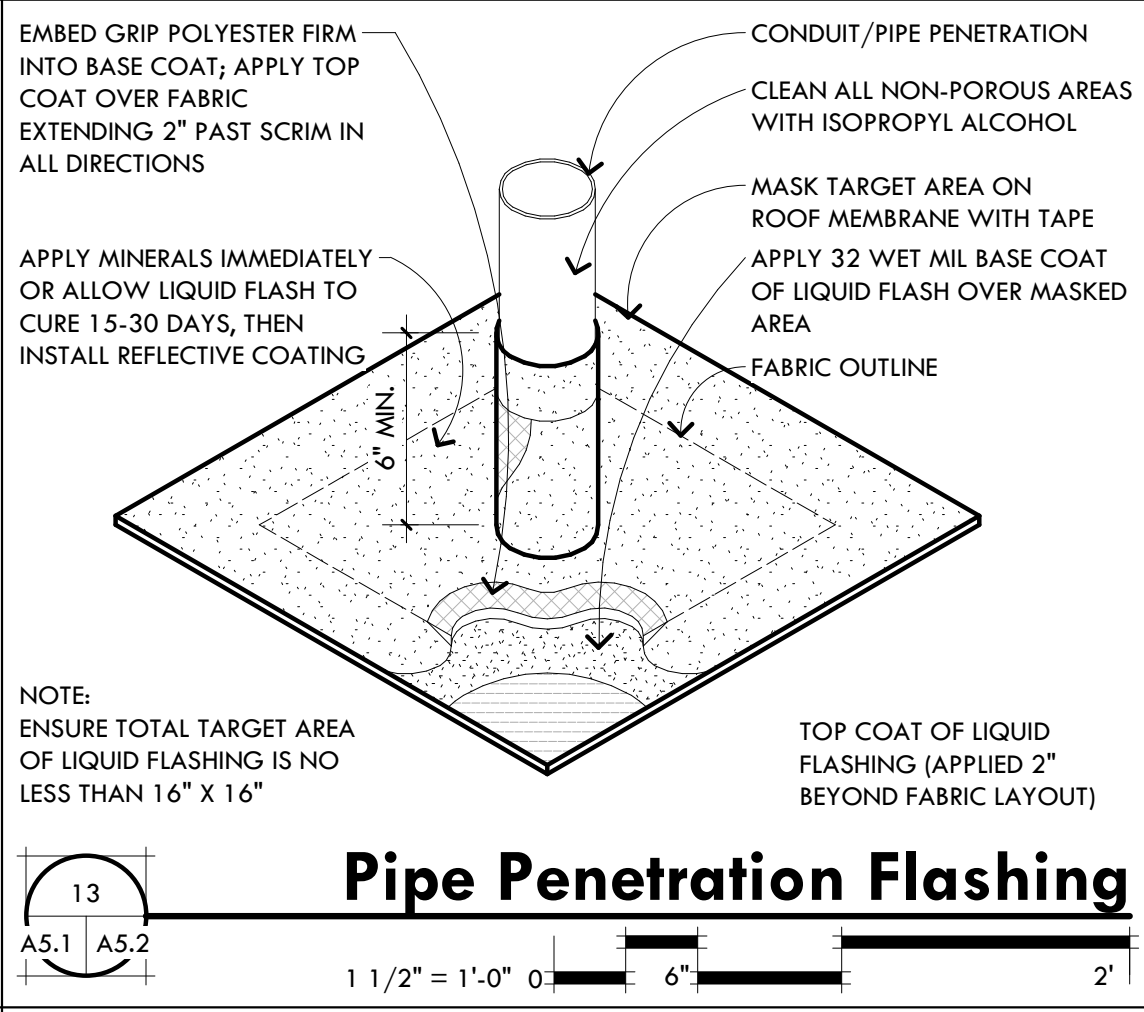
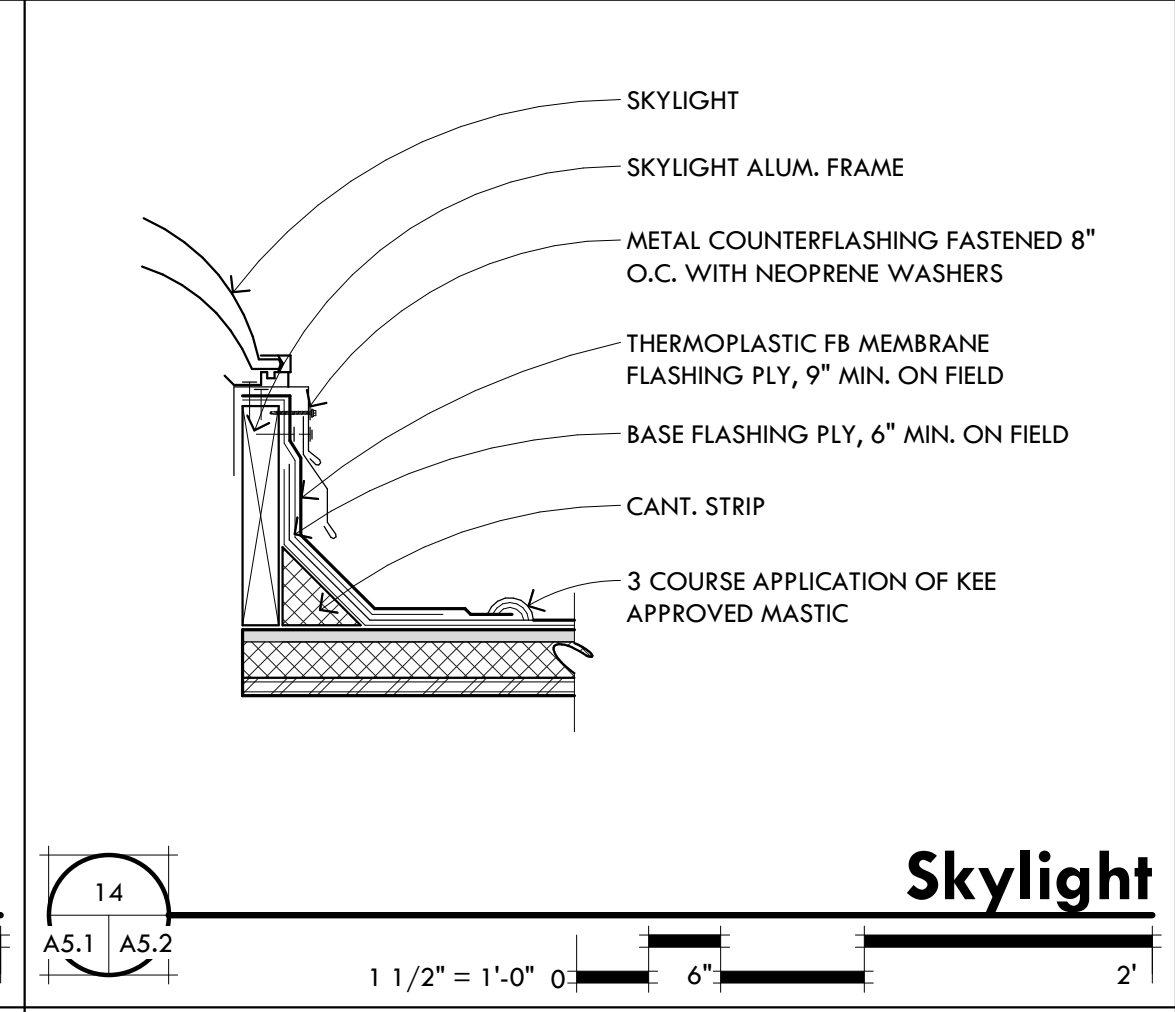
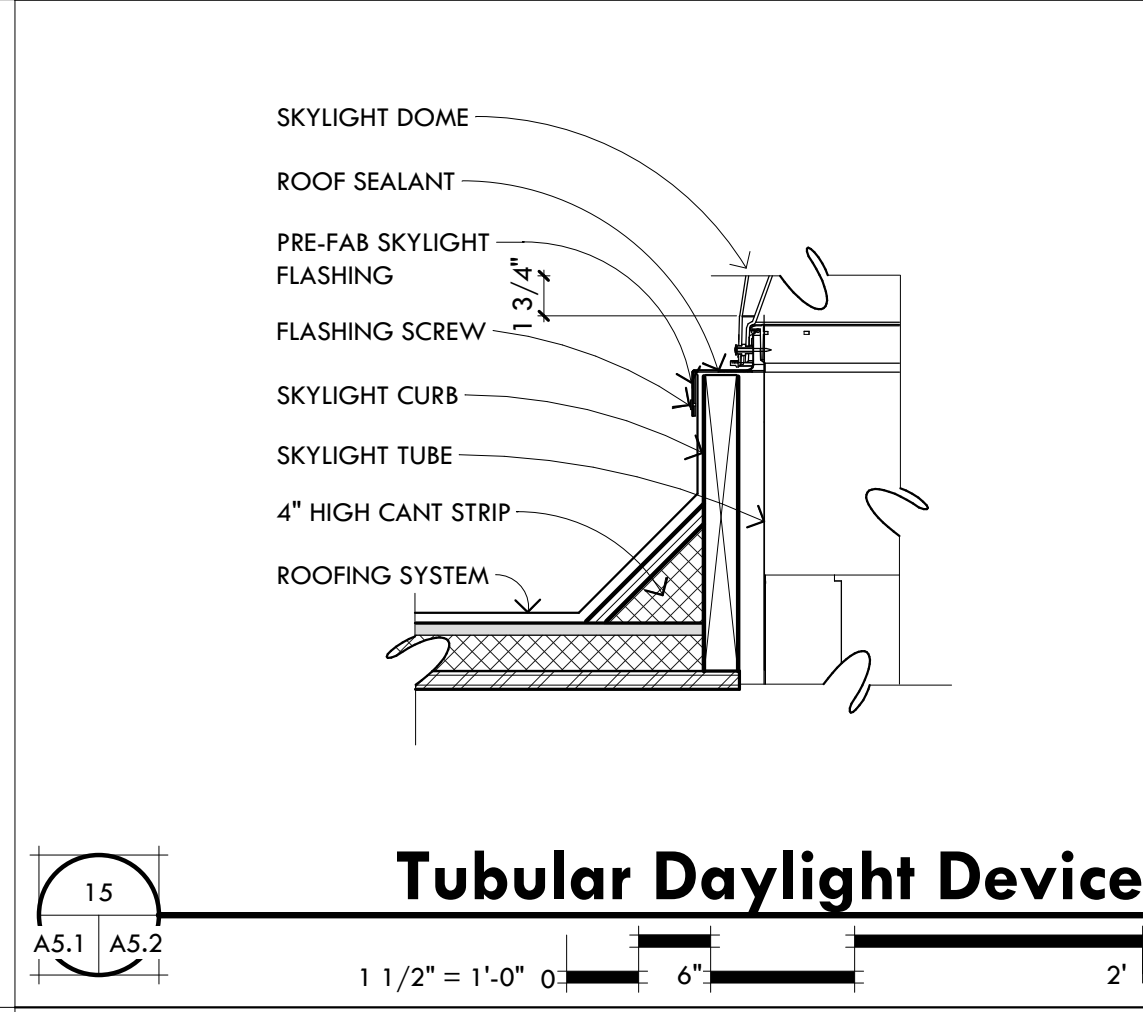
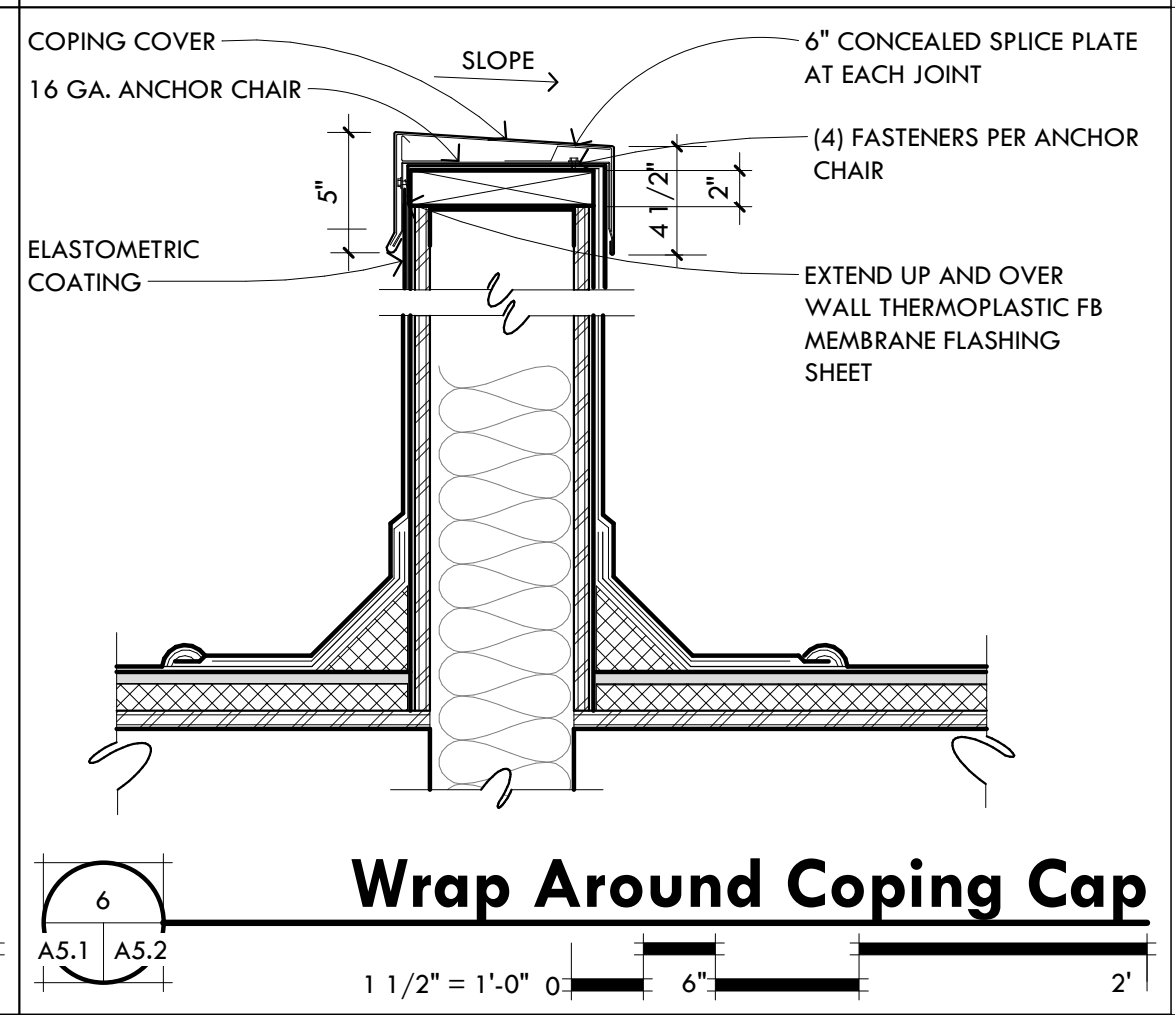
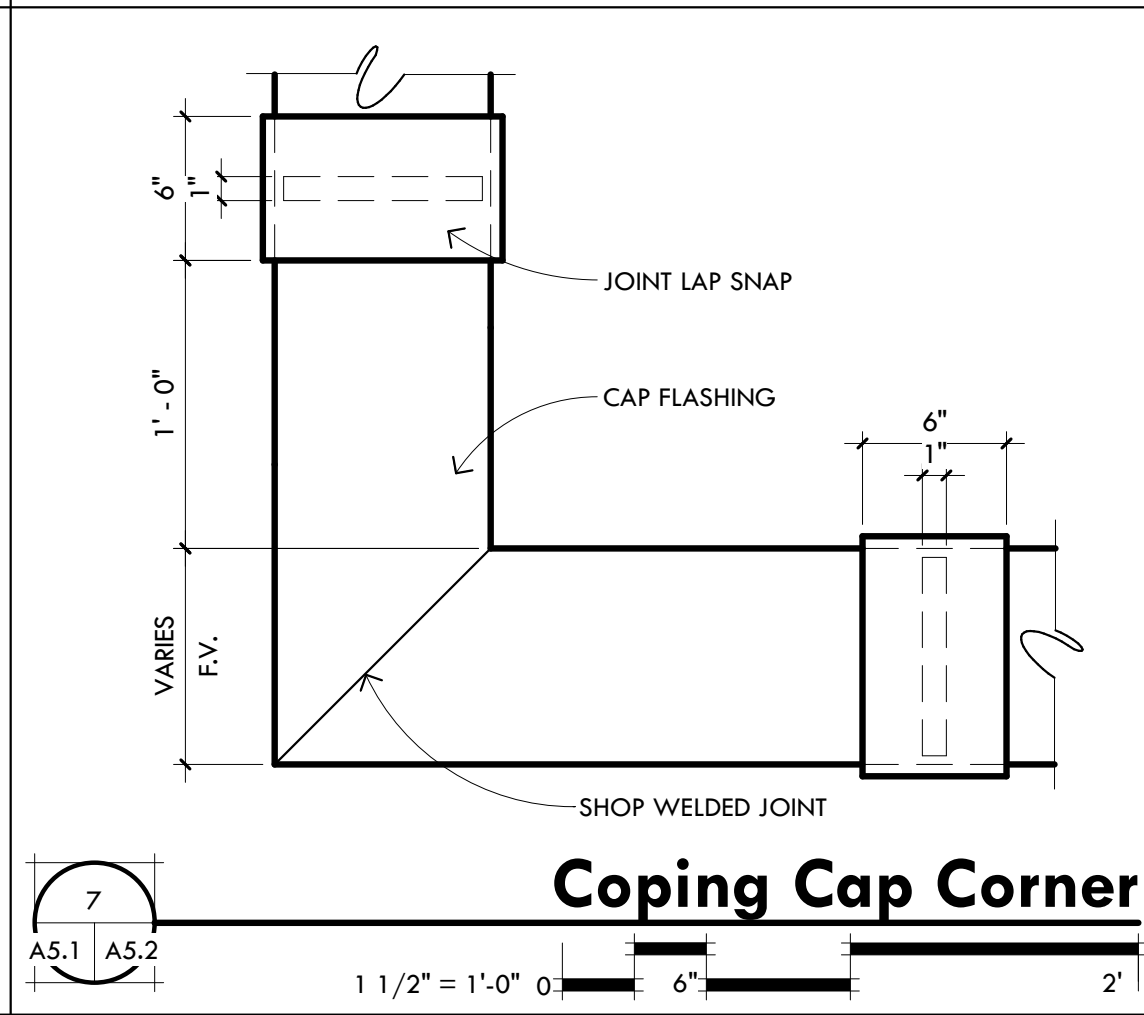
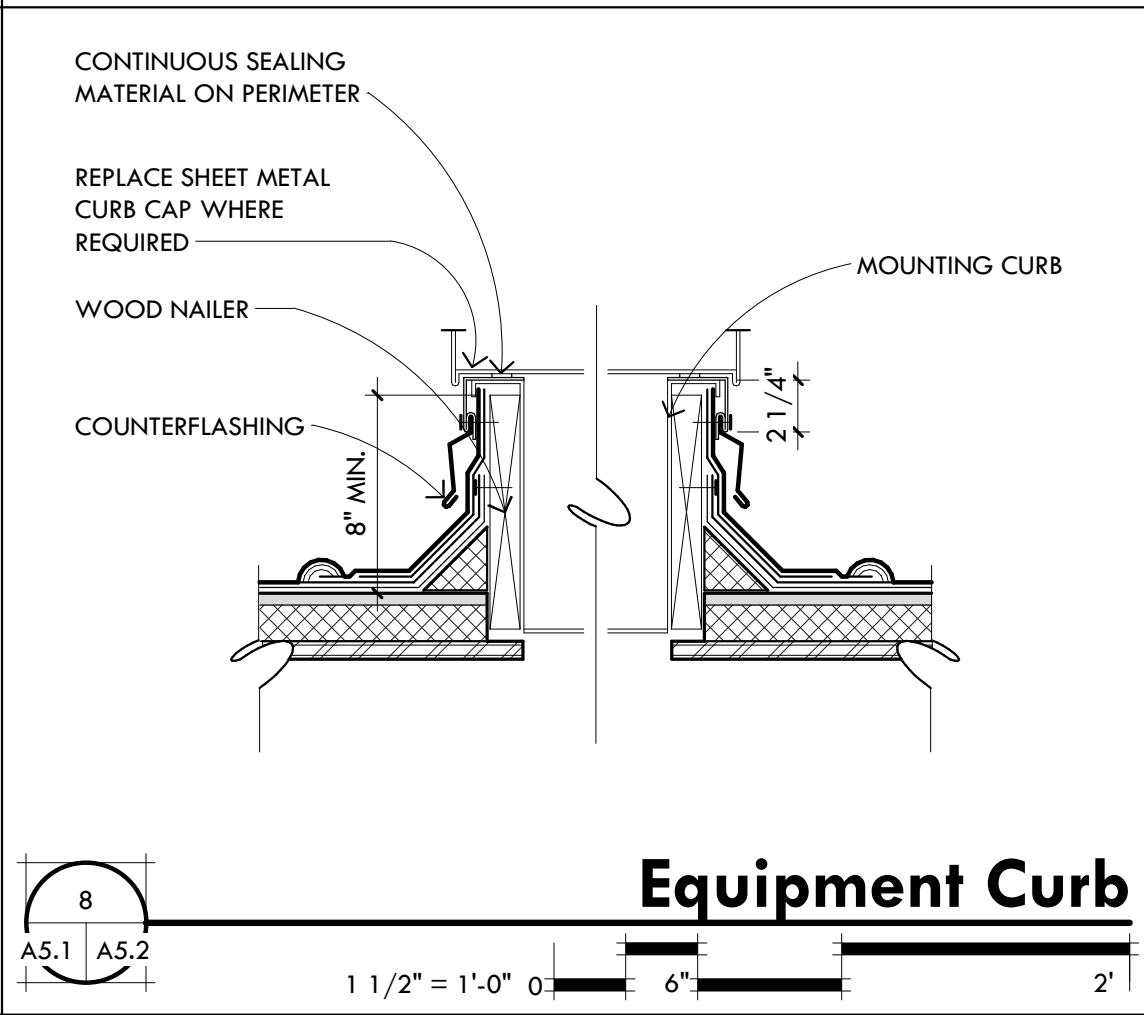
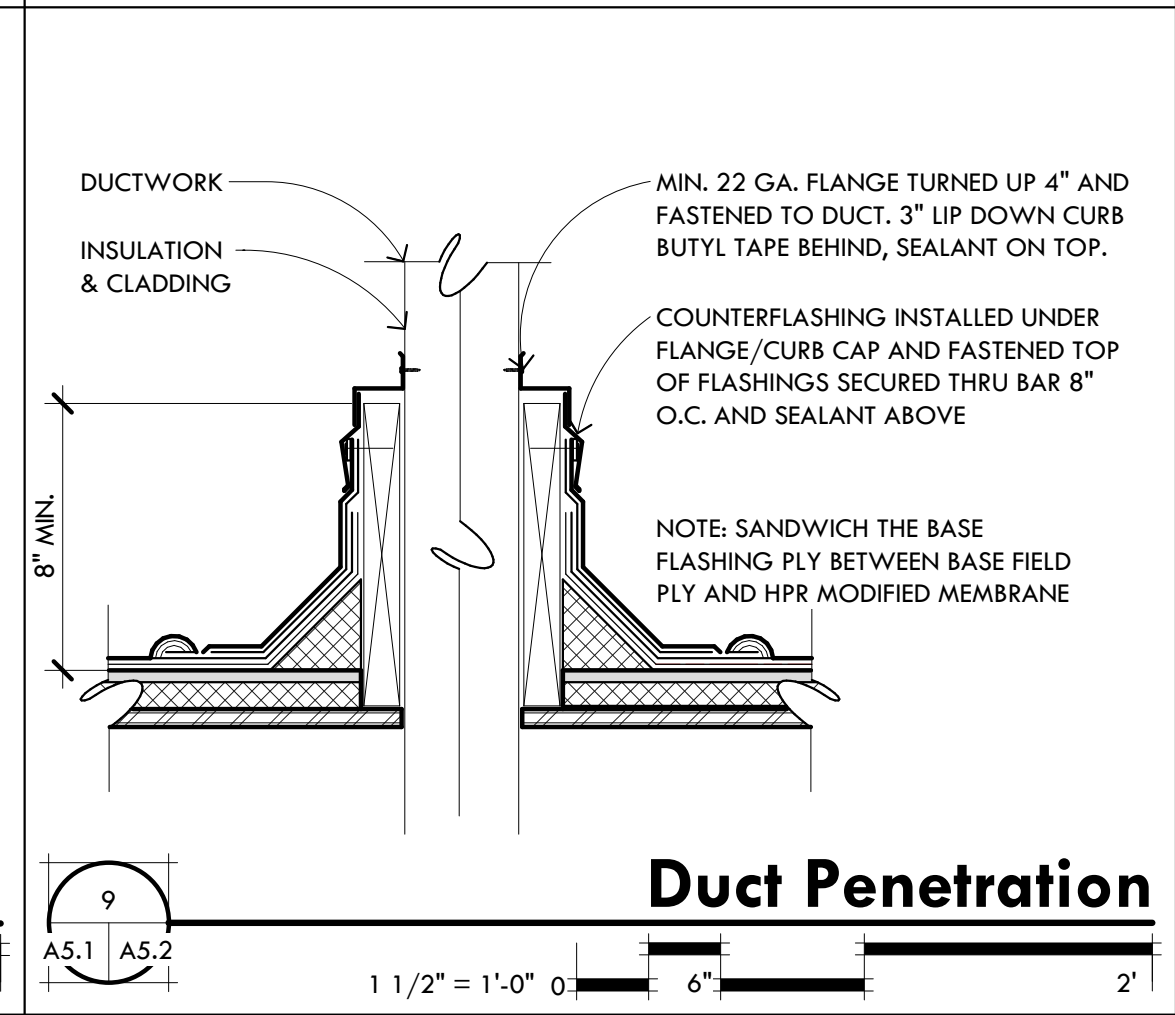
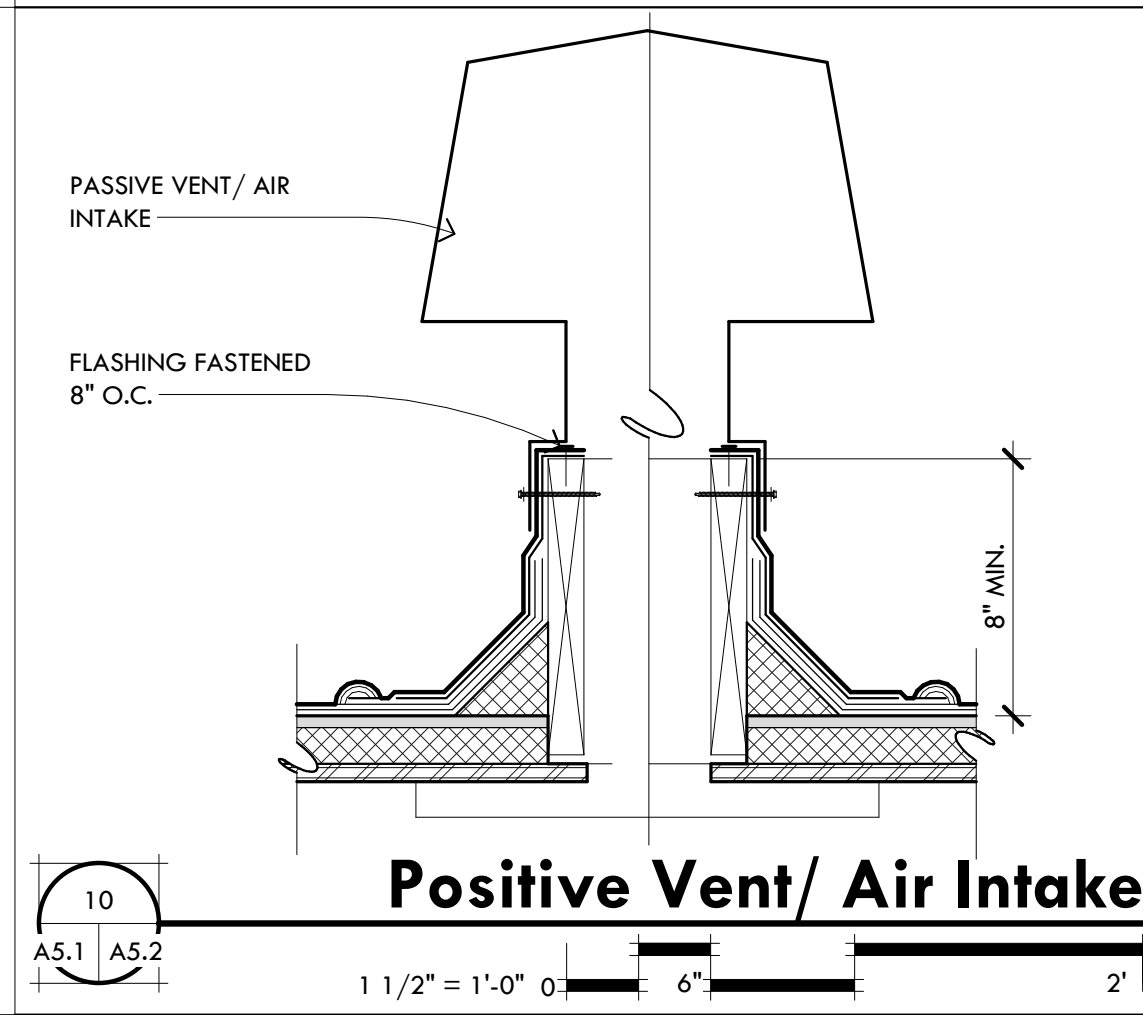
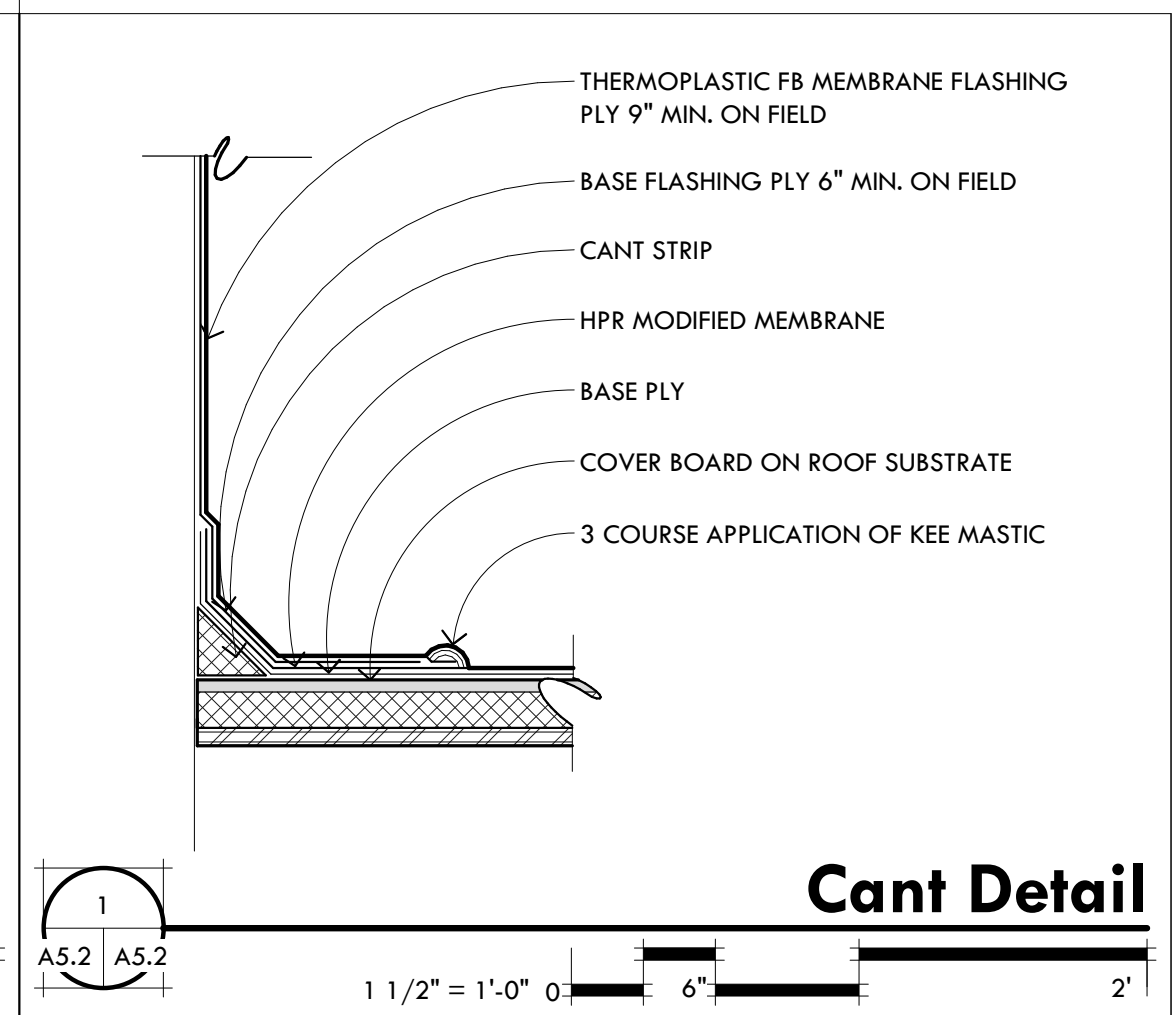
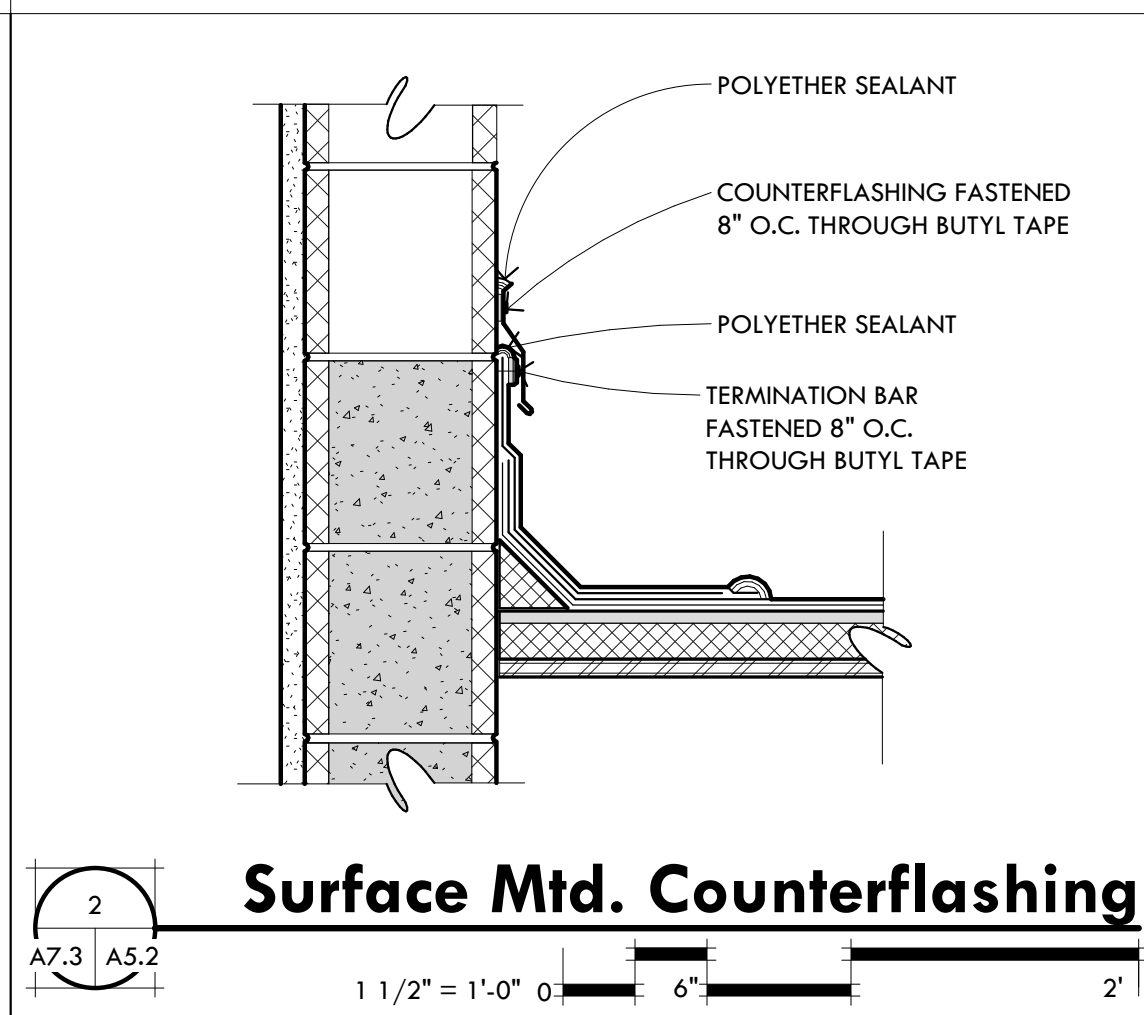
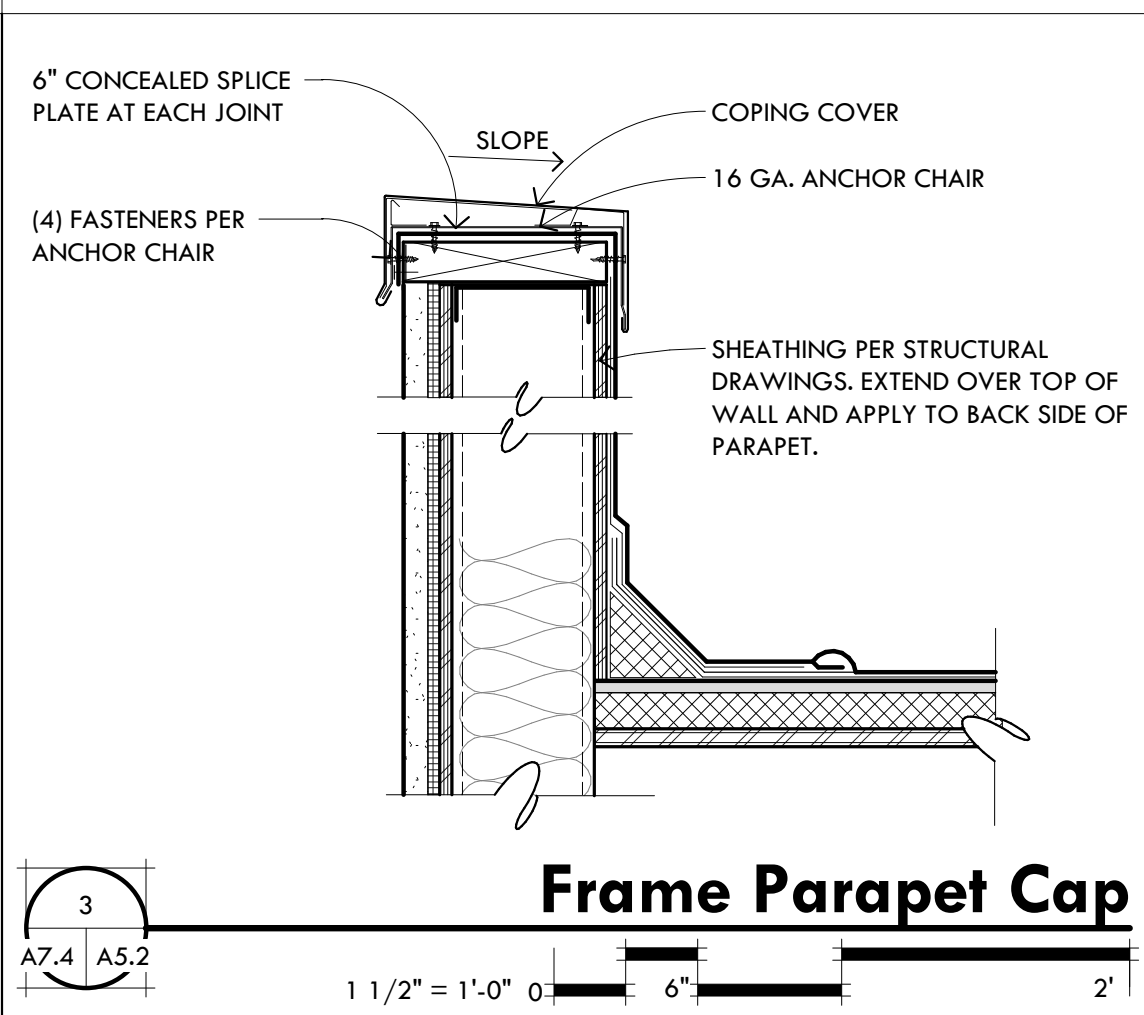
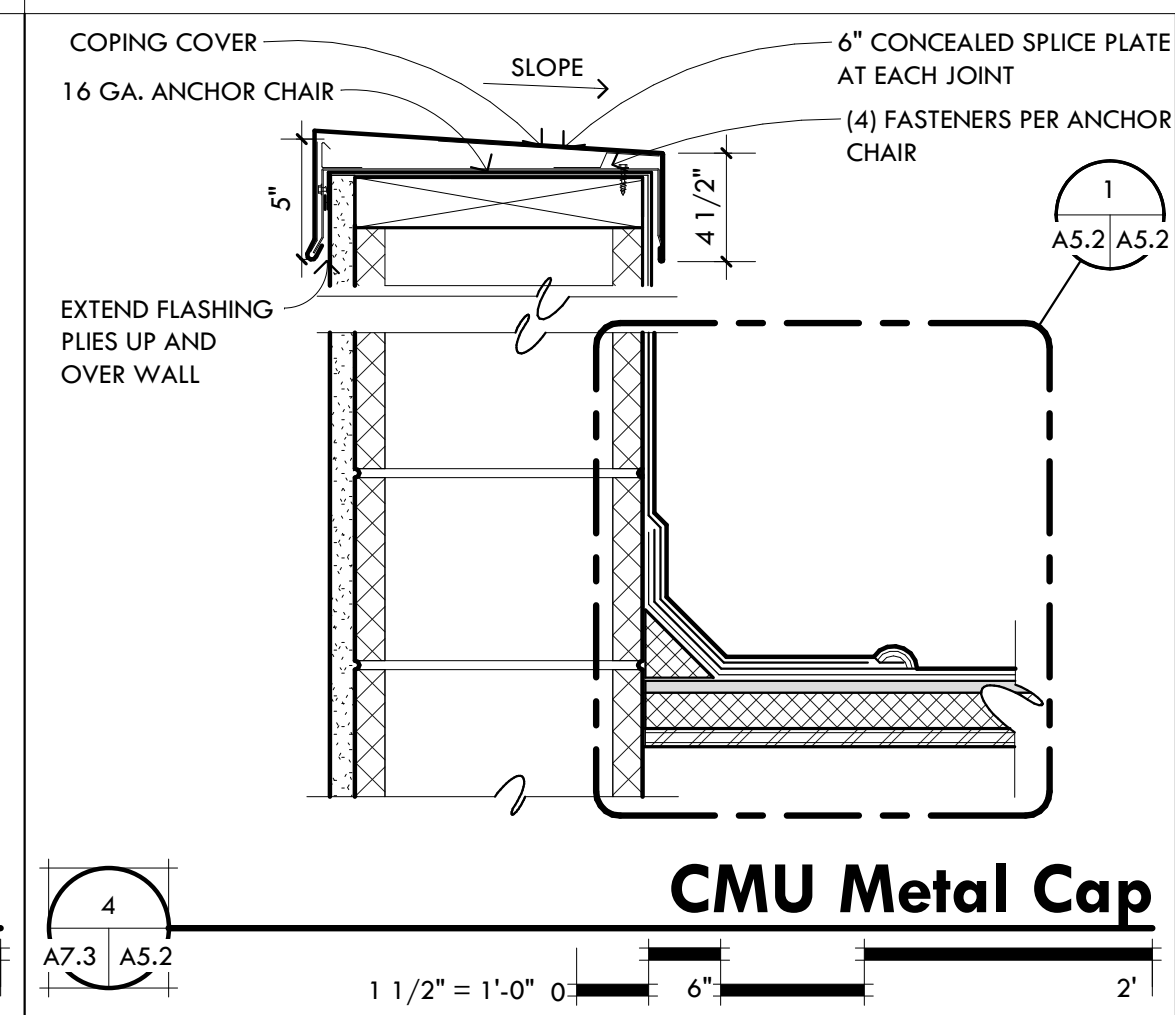
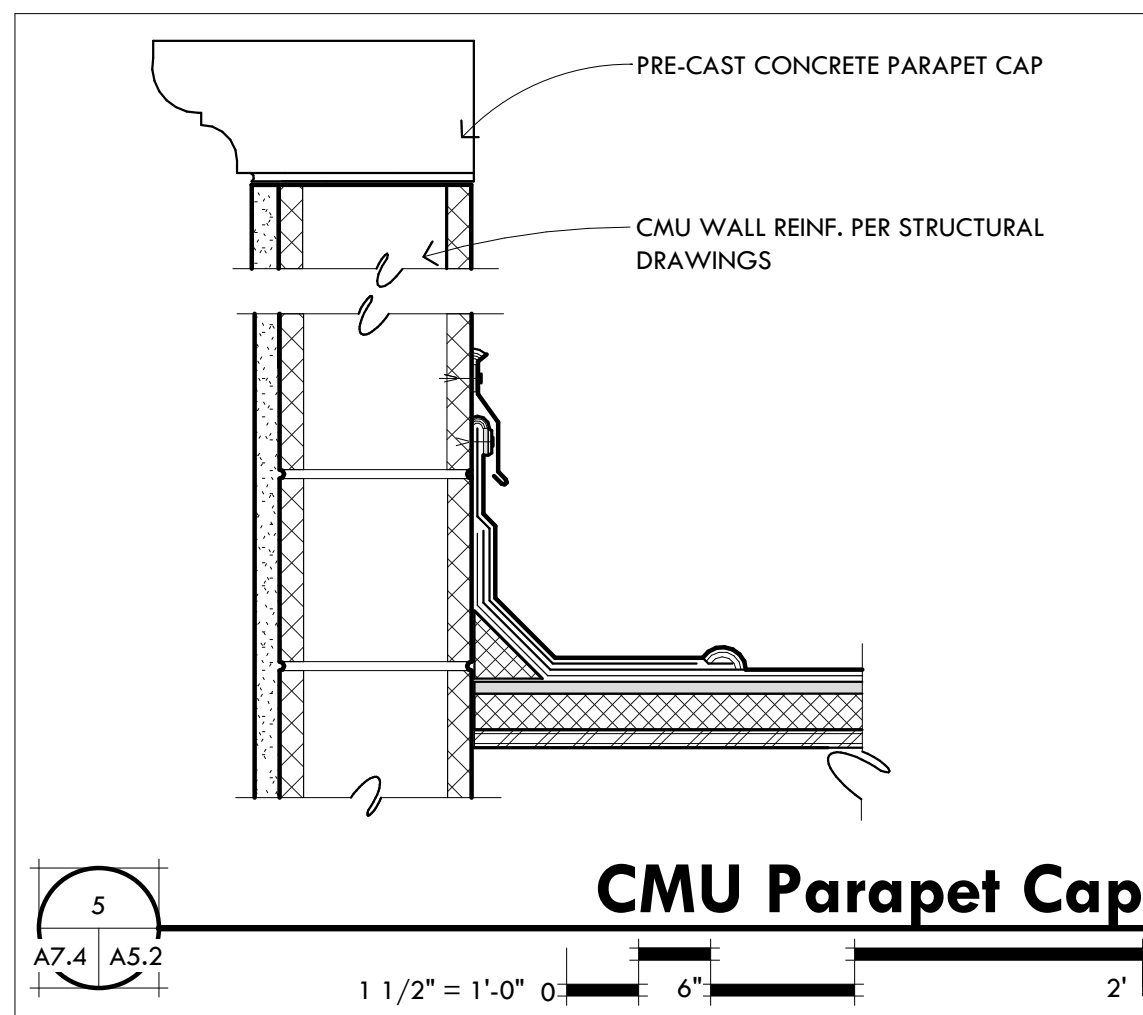
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Roof Plan

A5.1



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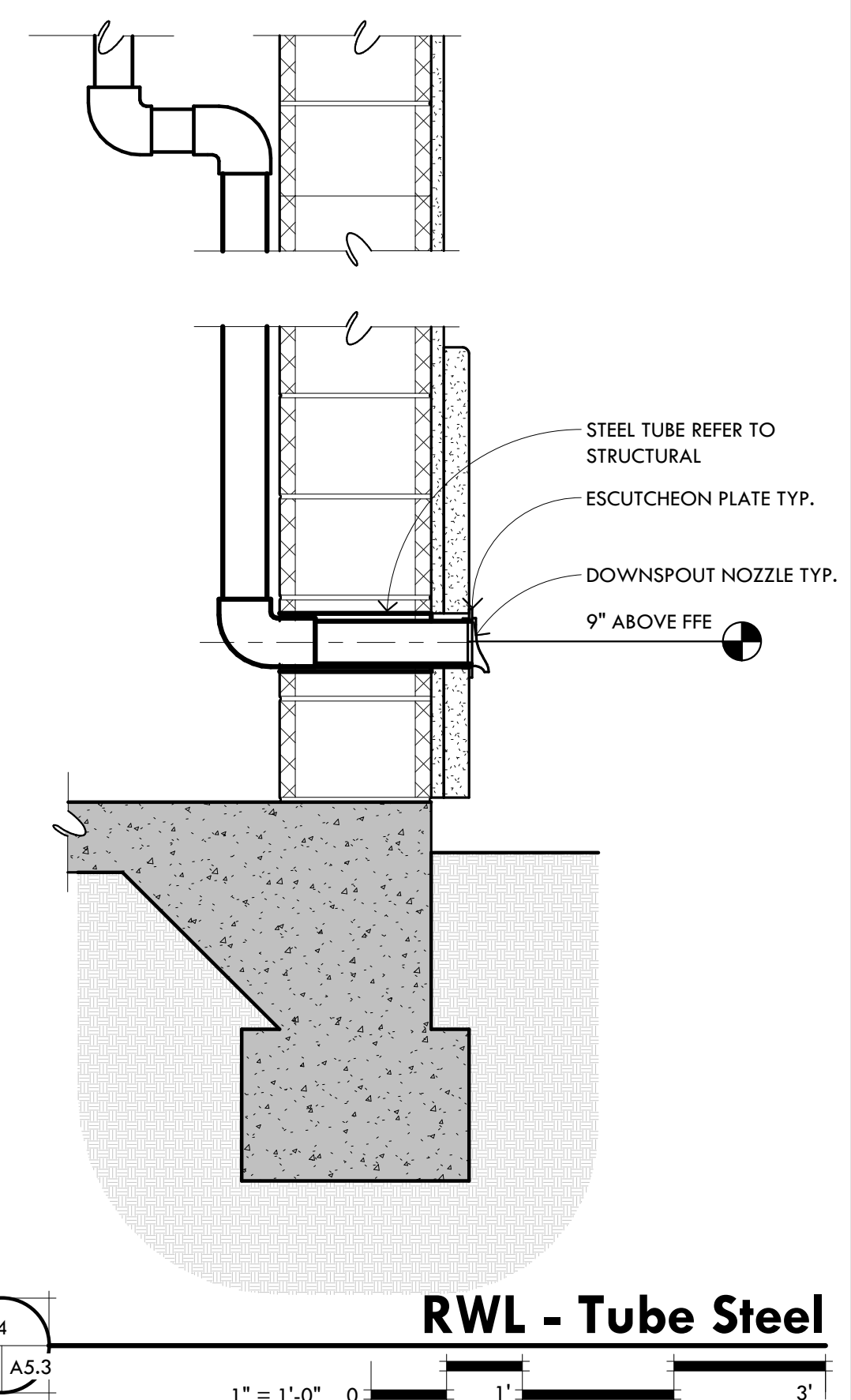
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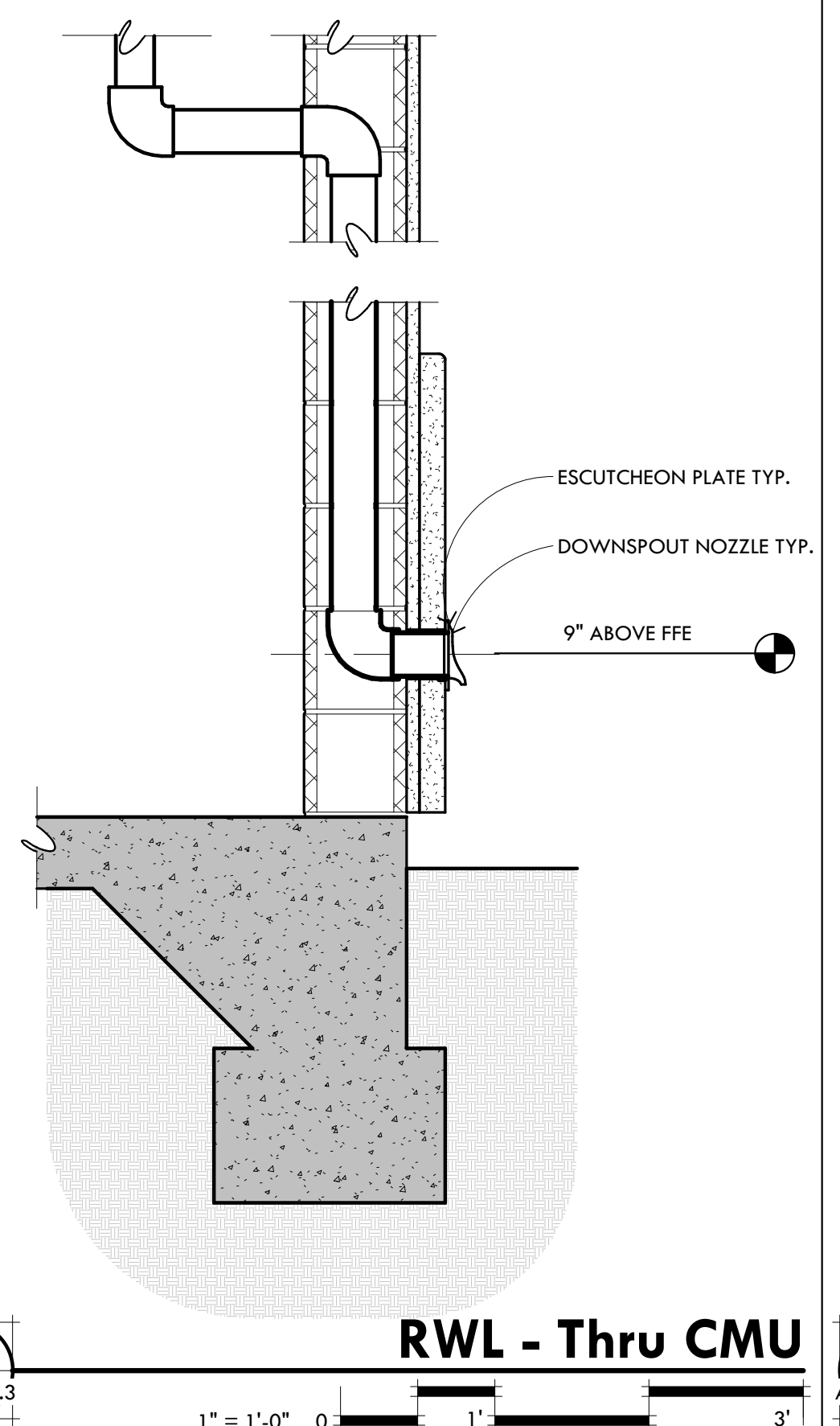
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Roof Details
A5.2

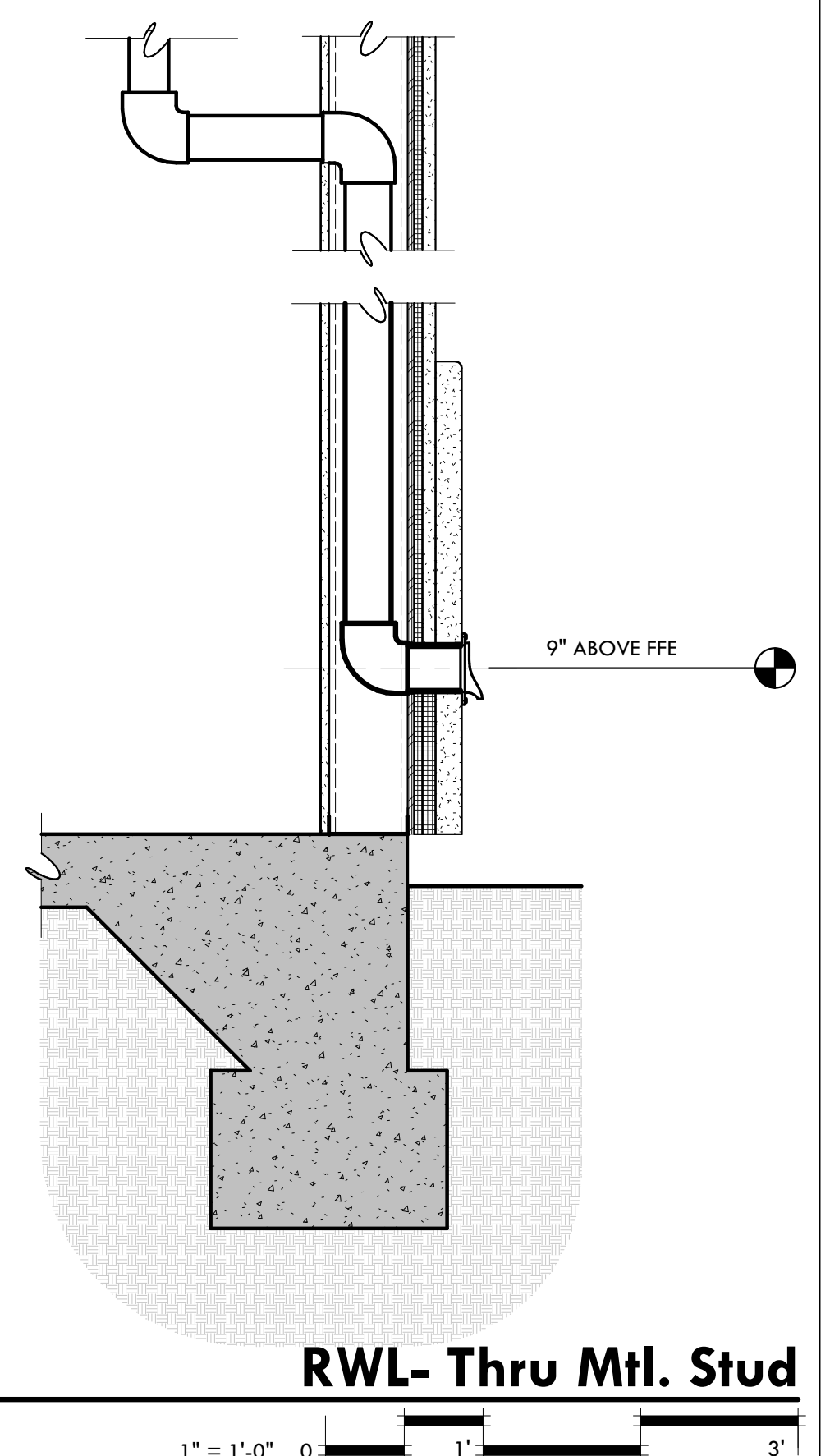
ALL TYPICAL NOTES ARE REFERENCED ON THIS WALL SECTION ONLY AND ARE NOT NOTED ON OTHER WALL SECTIONS



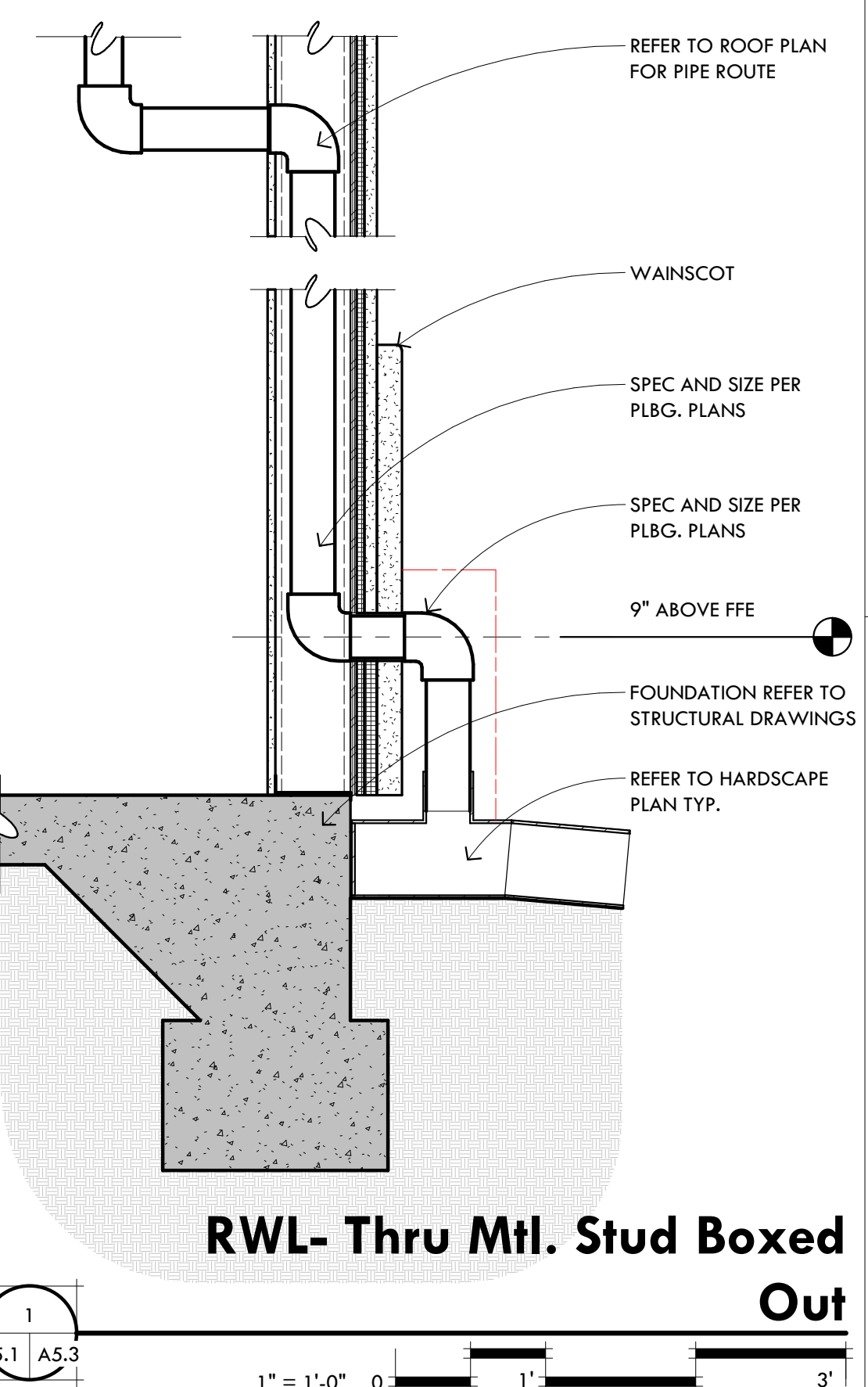
RWL - Tube Steel
 4
 A5.1 A5.3
 1" = 1'-0" 0' 1' 3'



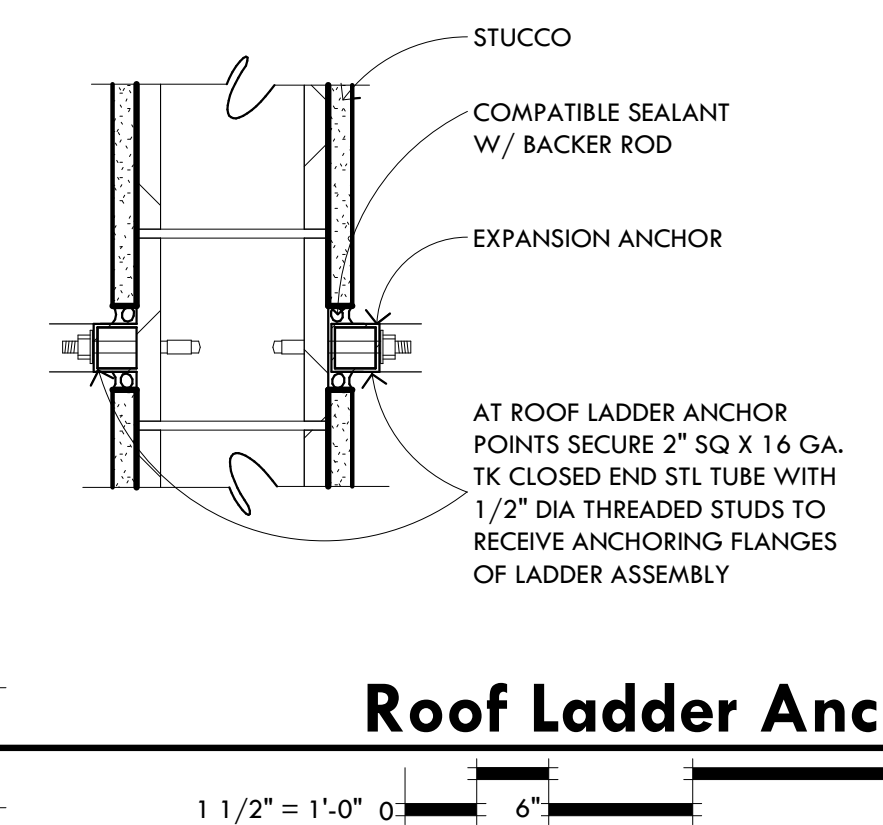
RWL - Thru CMU
 3
 A5.1 A5.3
 1" = 1'-0" 0' 1' 3'



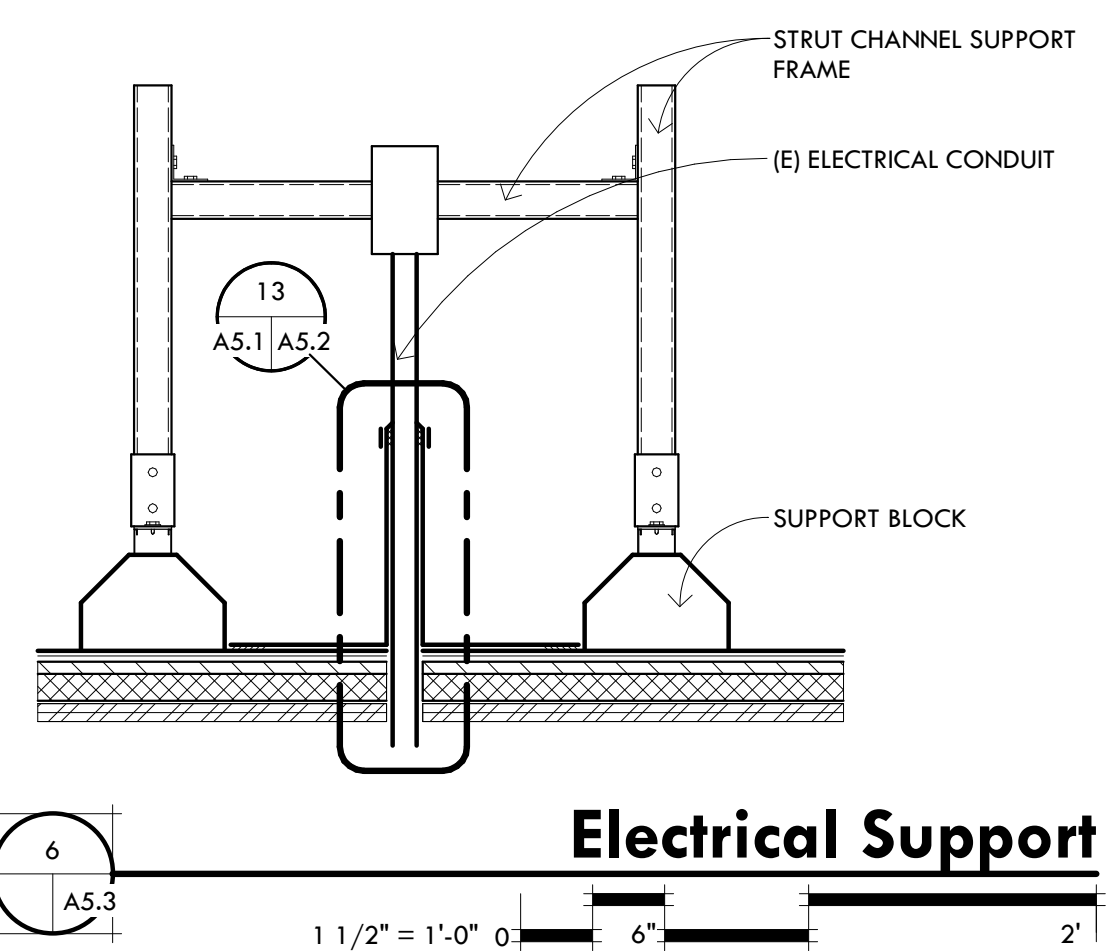
RWL - Thru Mtl. Stud
 2
 A5.1 A5.3
 1" = 1'-0" 0' 1' 3'



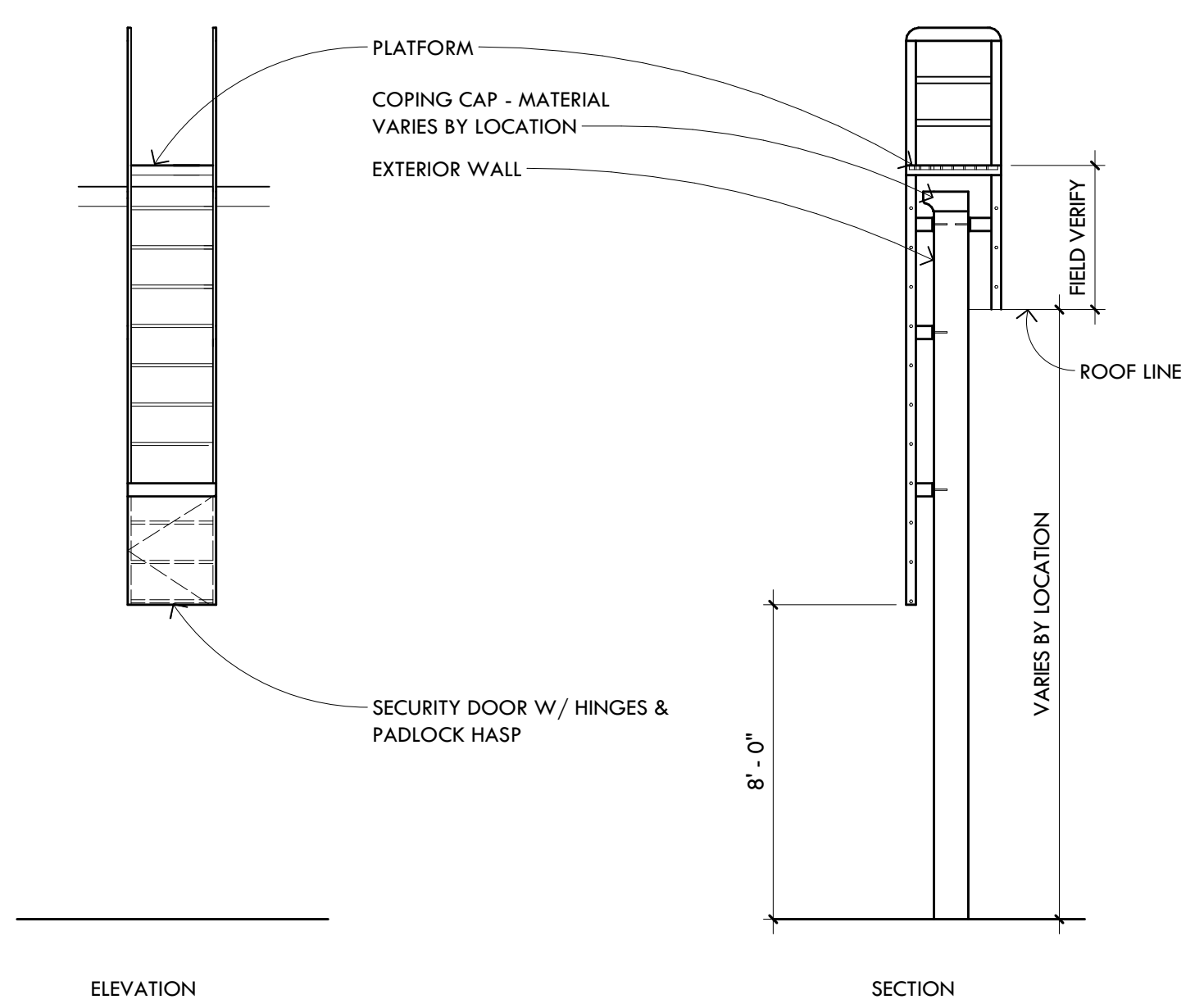
RWL - Thru Mtl. Stud Boxed Out
 1
 A5.1 A5.3
 1" = 1'-0" 0' 1' 3'



Roof Ladder Anchor
 7
 A5.3
 1 1/2" = 1'-0" 0' 6" 2'



Electrical Support
 6
 A5.3
 1 1/2" = 1'-0" 0' 6" 2'



Roof Access Ladder
 5
 A5.1 A5.3
 1/4" = 1'-0" 0' 4' 12'

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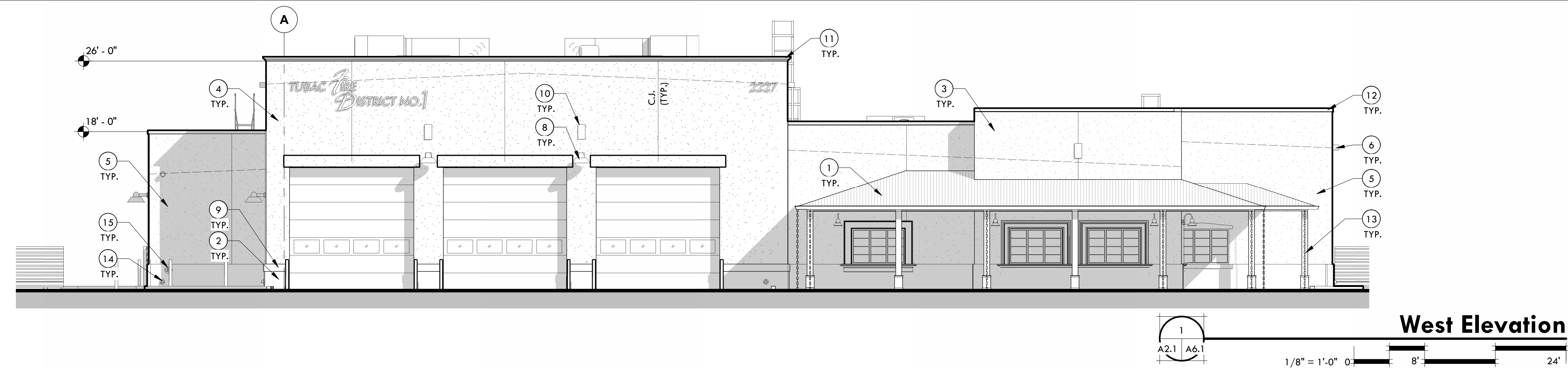
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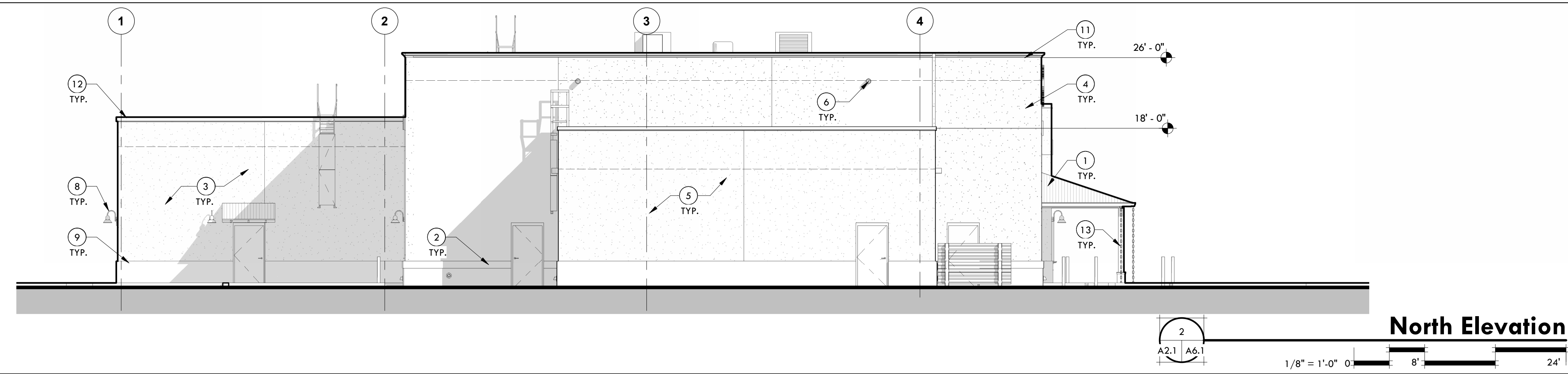
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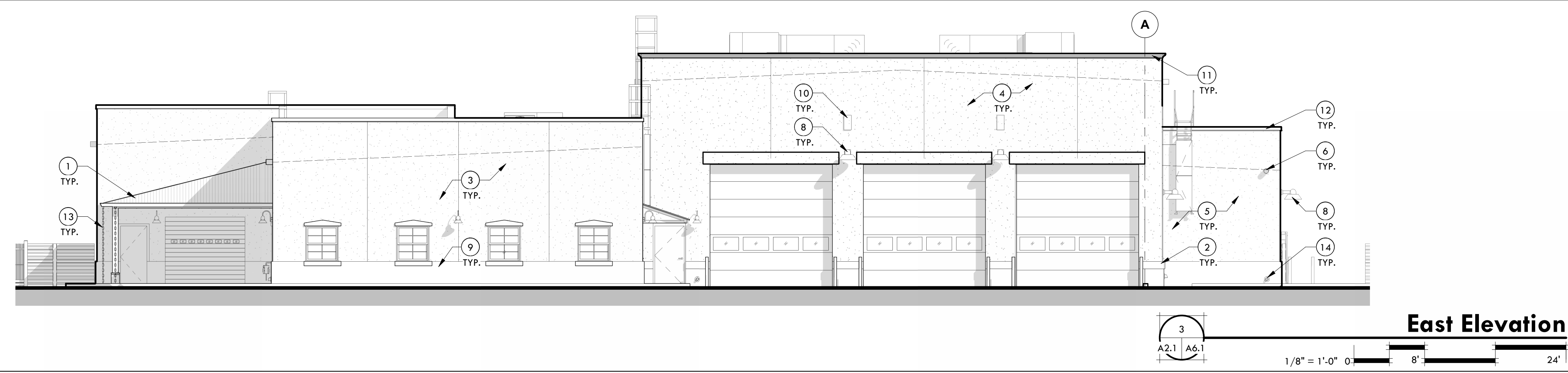
Roof Details
A5.3



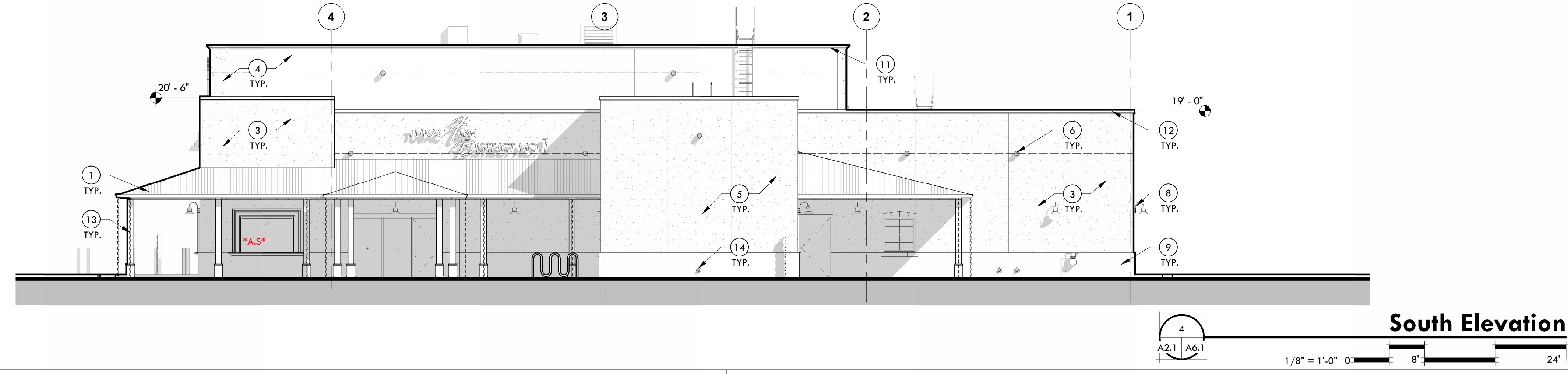
West Elevation



North Elevation



East Elevation



South Elevation

Paint Schedule

- PT-1 WESTERN STATES METAL SPECKLED RUST
- PT-2 DUNN EDWARDS MESA TAN
- PT-3 DUNN EDWARDS CHAMPAGNE
- PT-4 DUNN EDWARDS MONARCH MIGRATION
- PT-5 DUNN EDWARDS OCHRE REVIVAL
- PAINT TO MATCH

Keynotes

- 1 METAL ROOF, COLOR- METAL PT-1
- 2 STUCCO, COLOR- PAINT PT-2
- 3 STUCCO, COLOR- PAINT PT- 3
- 4 STUCCO, COLOR- PAINT PT- 4
- 5 STUCCO, COLOR- PAINT PT- 5
- 6 RAIN WATER LEADERS (PT-5)
- 7 REVEAL
- 8 LIGHT FIXTURE, REFER TO ELECTRICAL DWGS
- 9 WAINSCOT
- 10 SURFACE RELIEF
- 11 PRE-CAST CONC. CAP
- 12 MTL. COPING CAP
- 13 WATER CHAIN
- 14 OVERFLOW OUTLET
- 15 FIRE DEPARTMENT INLET CONNECTION

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Building Elevations

A6.1

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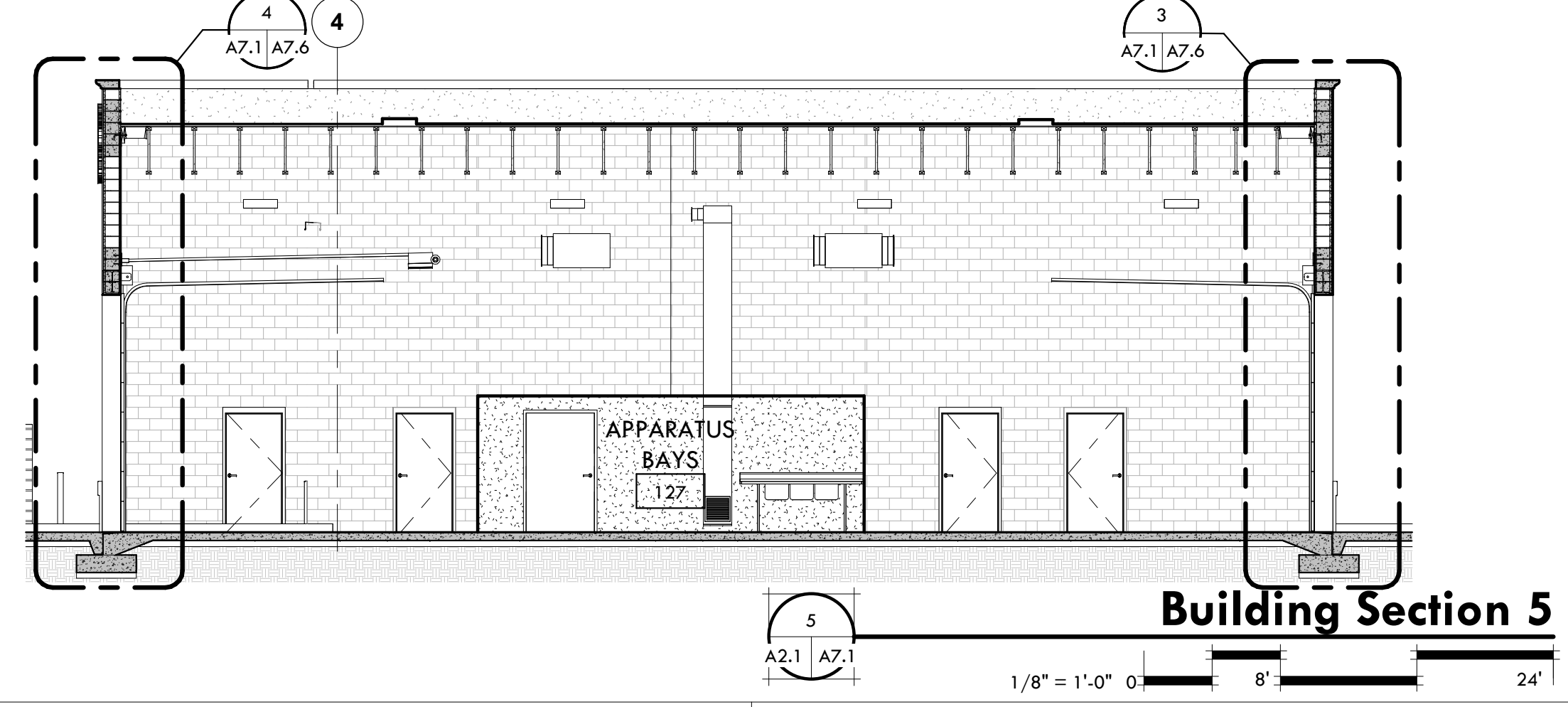
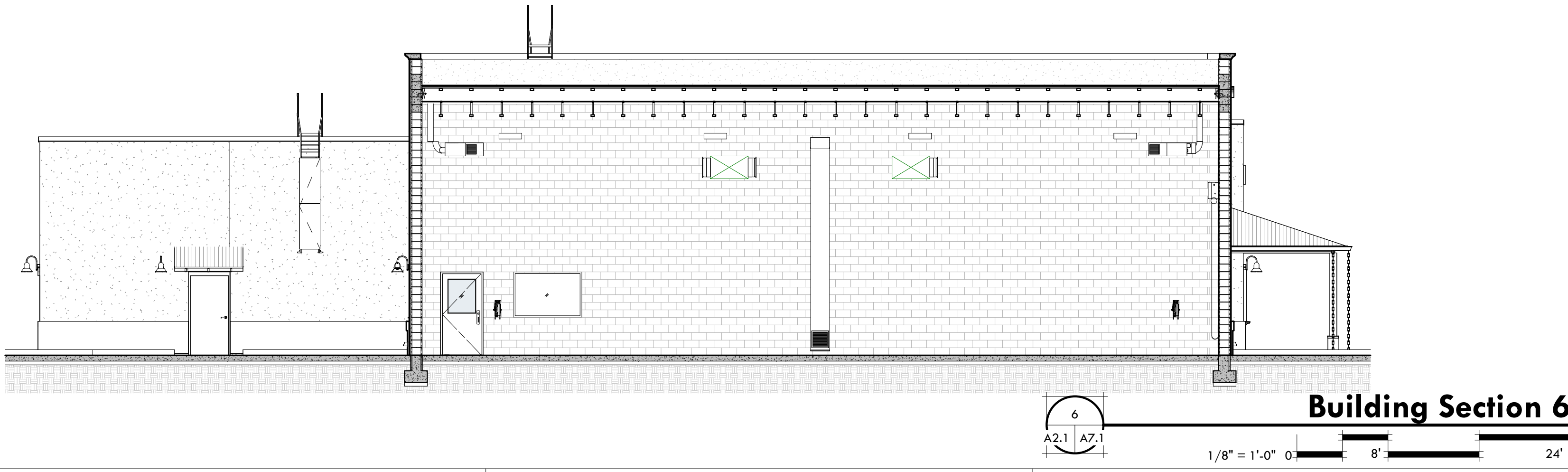
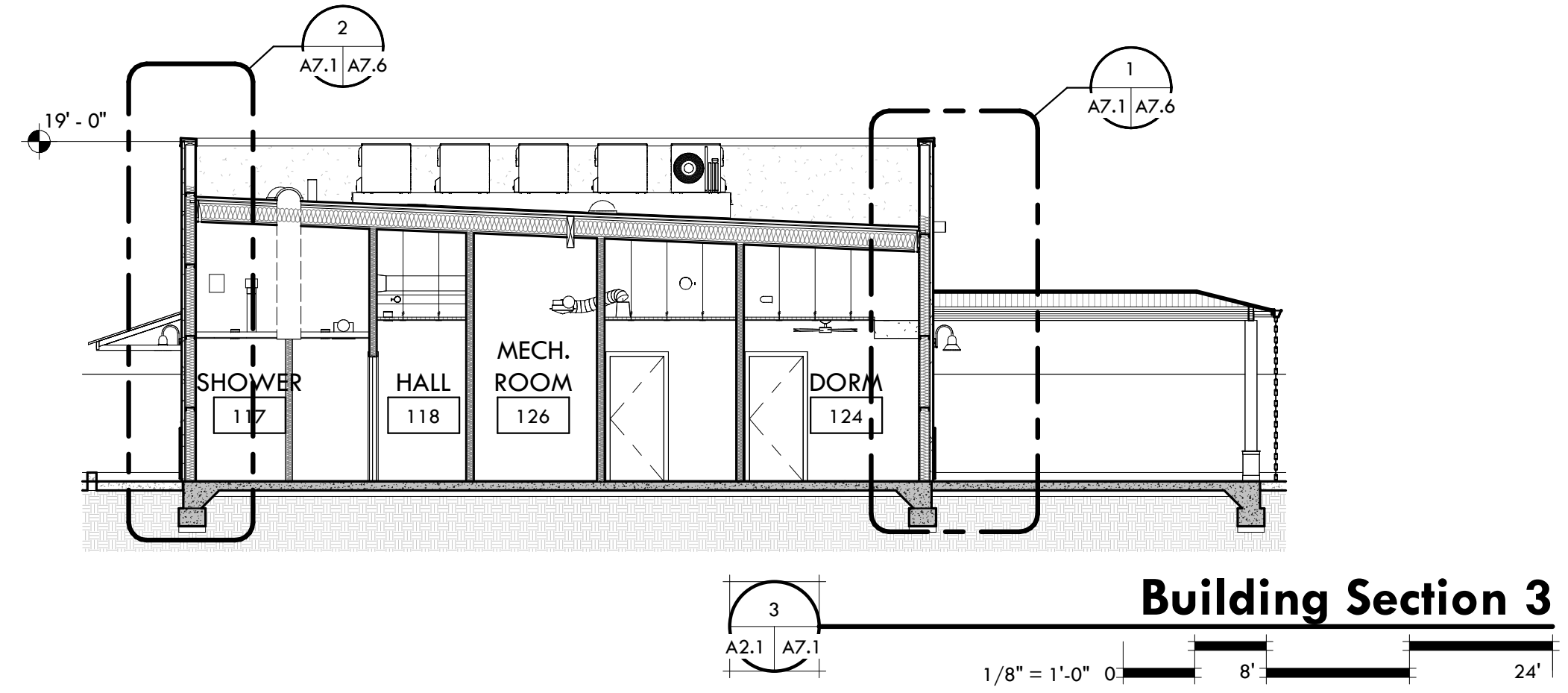
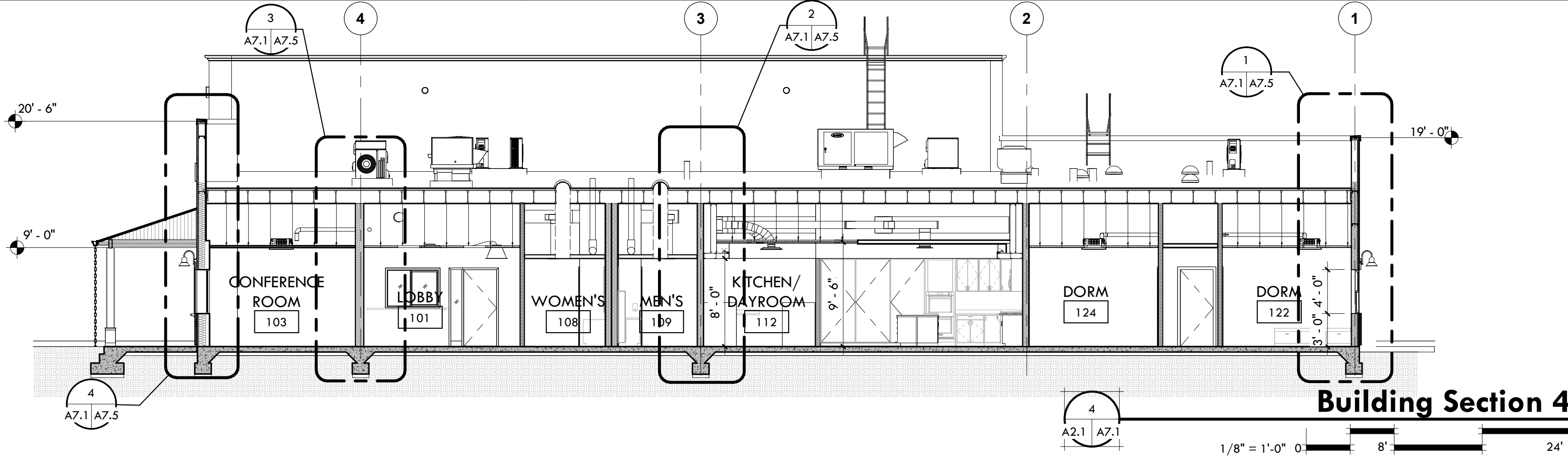
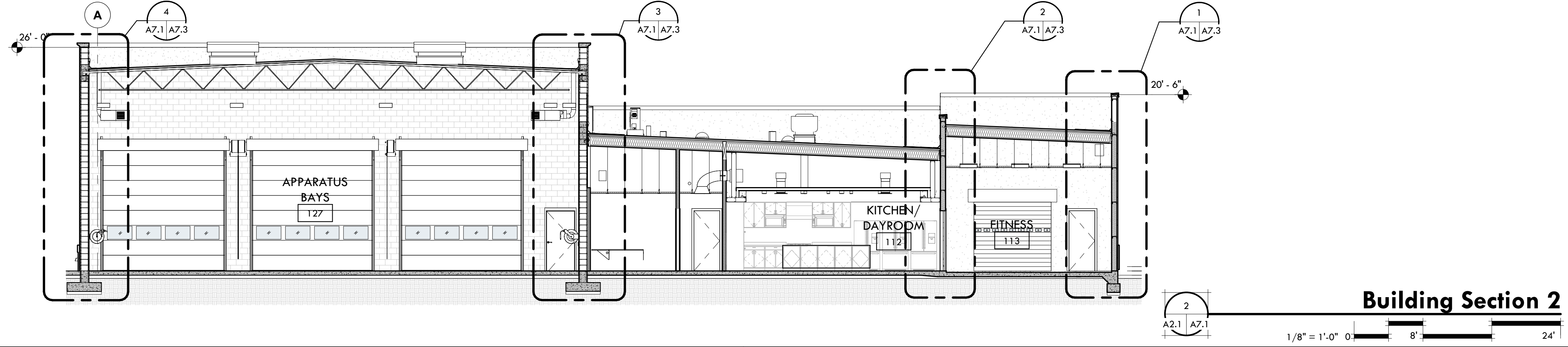
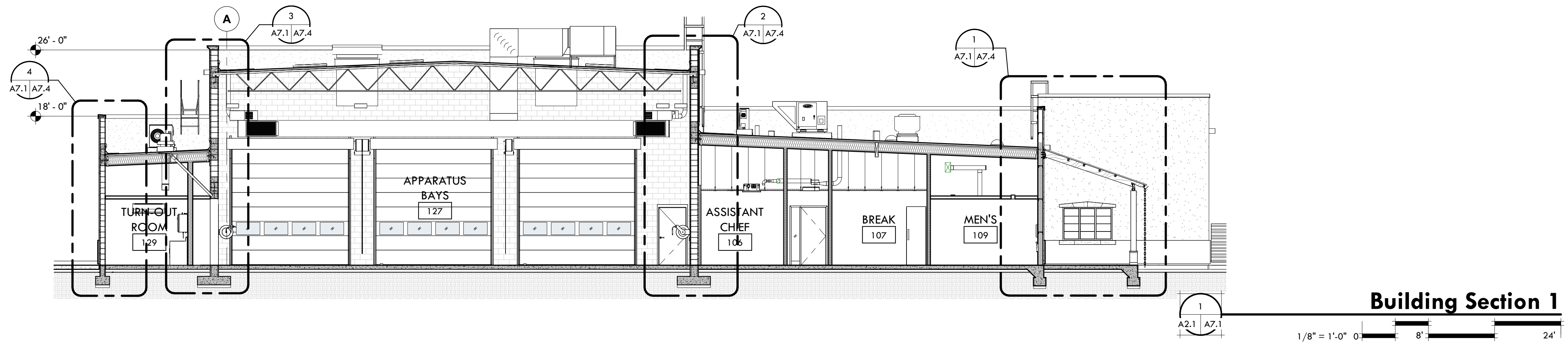
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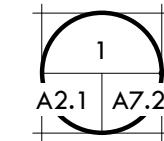
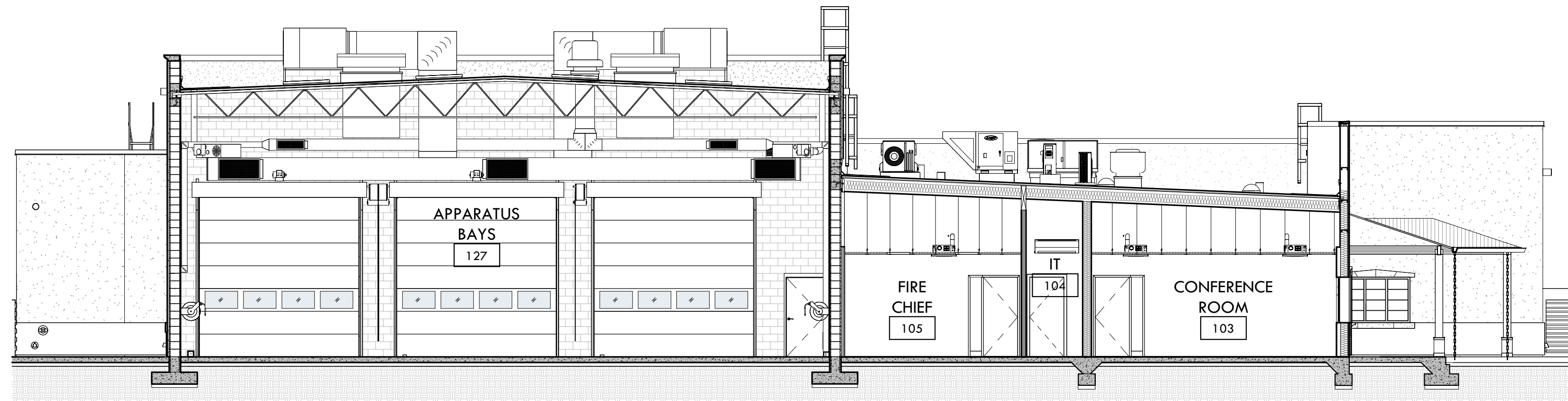
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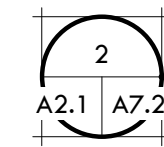
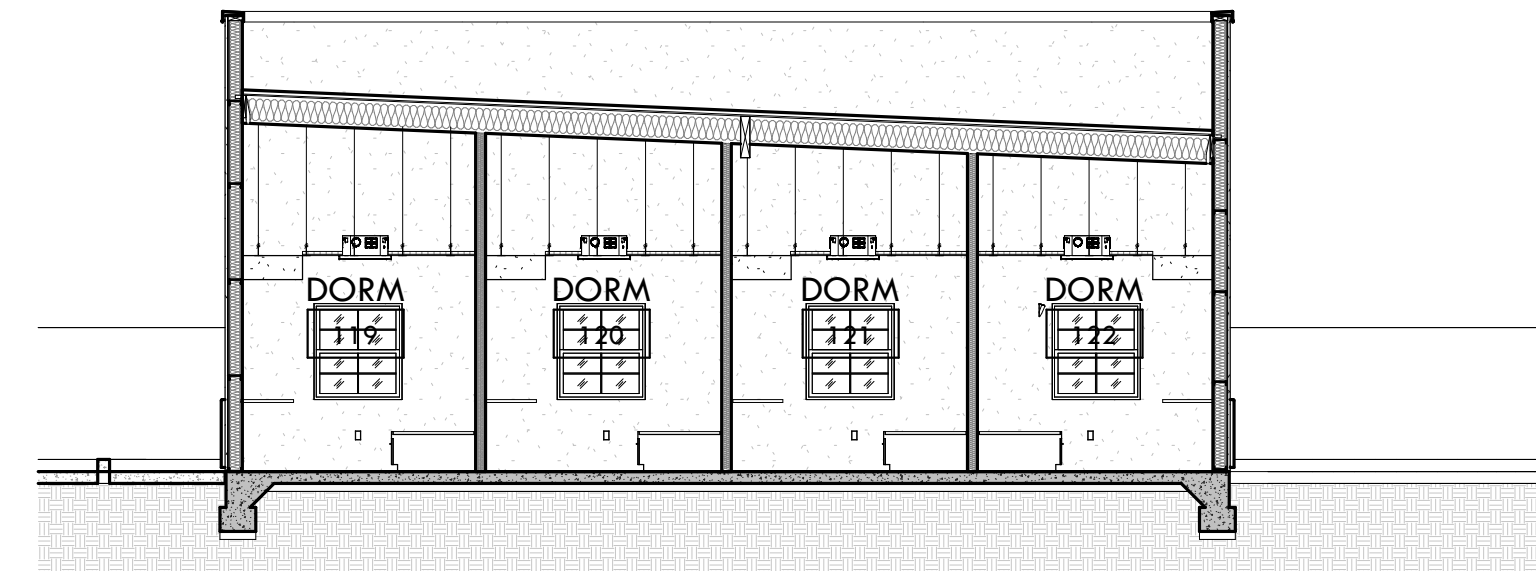
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Section 1

1/8" = 1'-0" 0 8' 24'



Section 2

1/8" = 1'-0" 0 4' 12'

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Building Sections
A7.2

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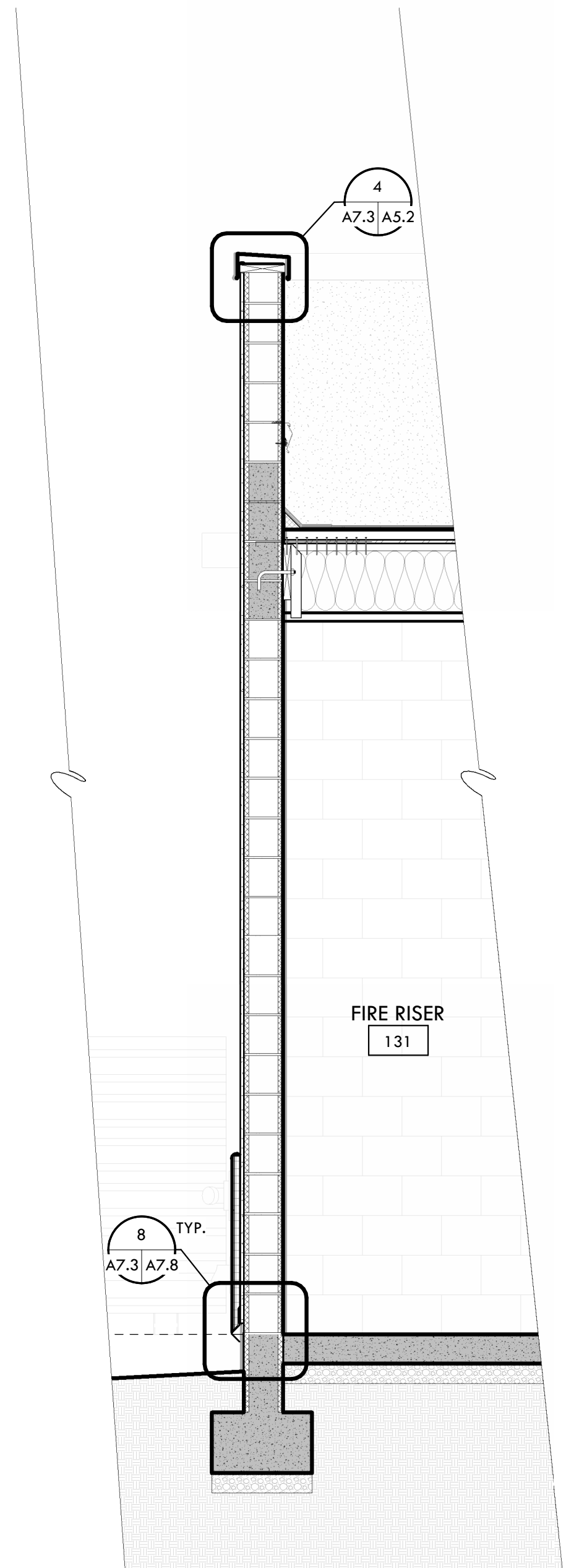
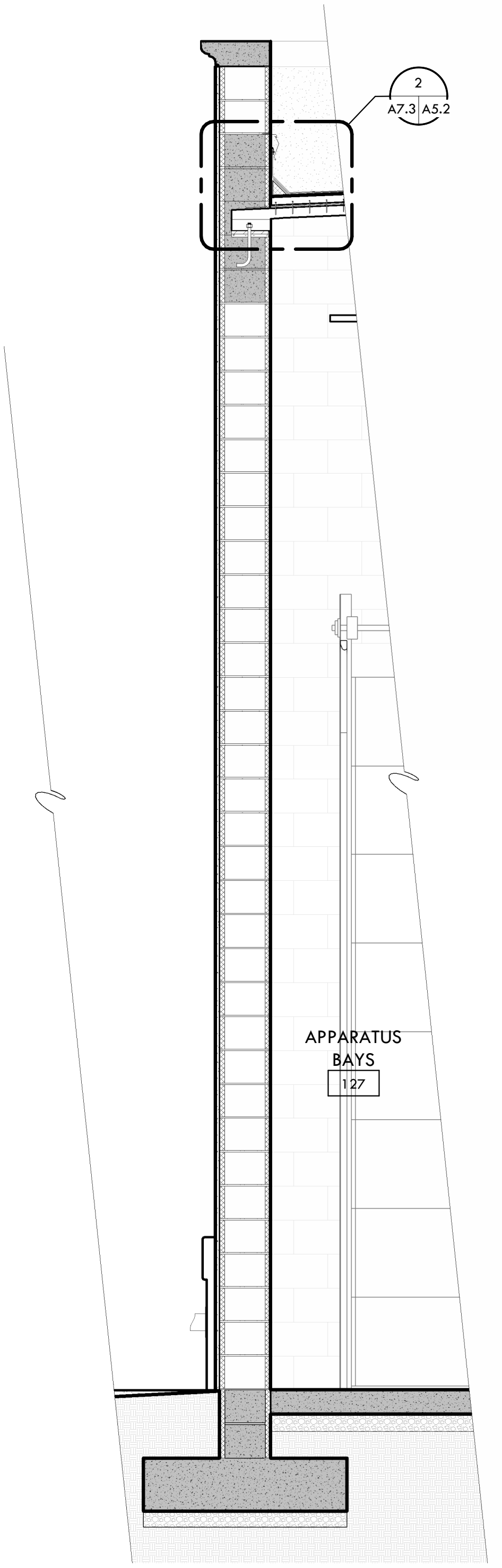
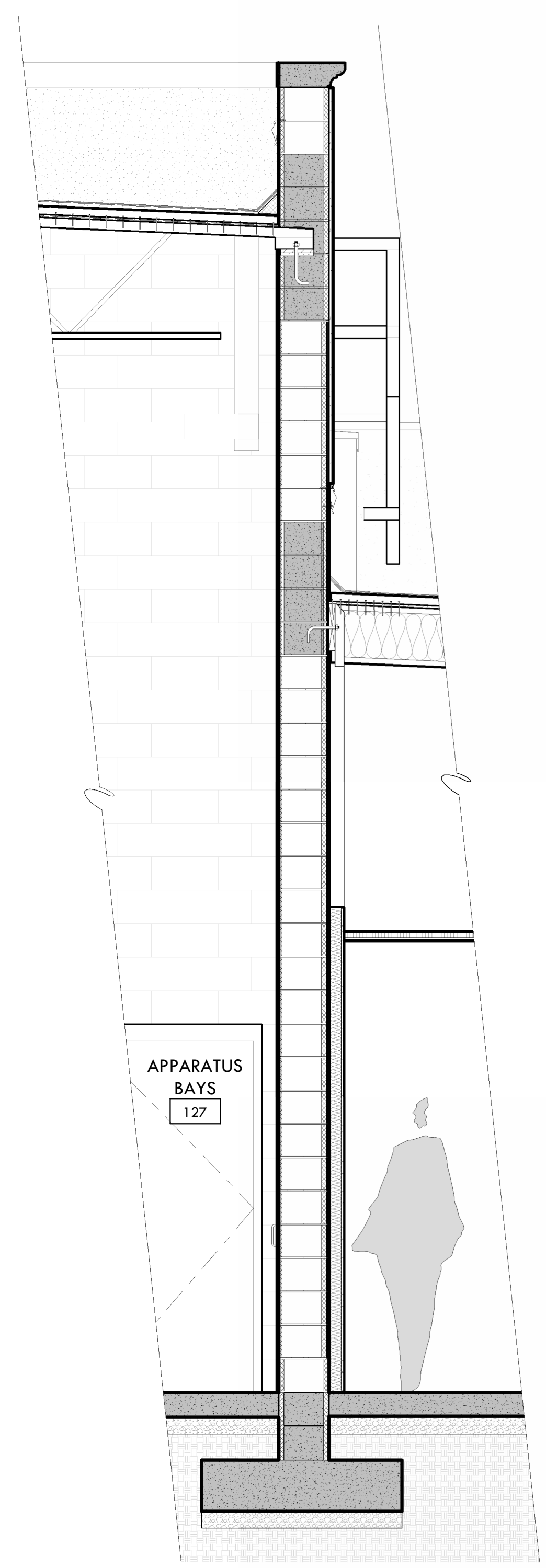
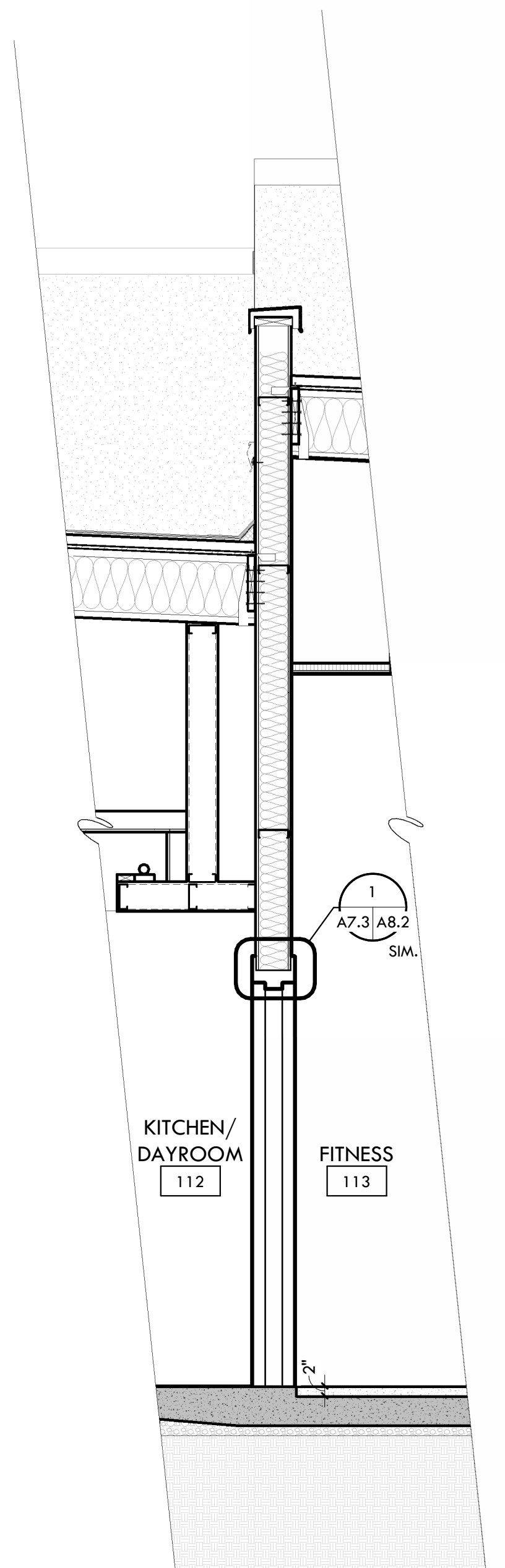
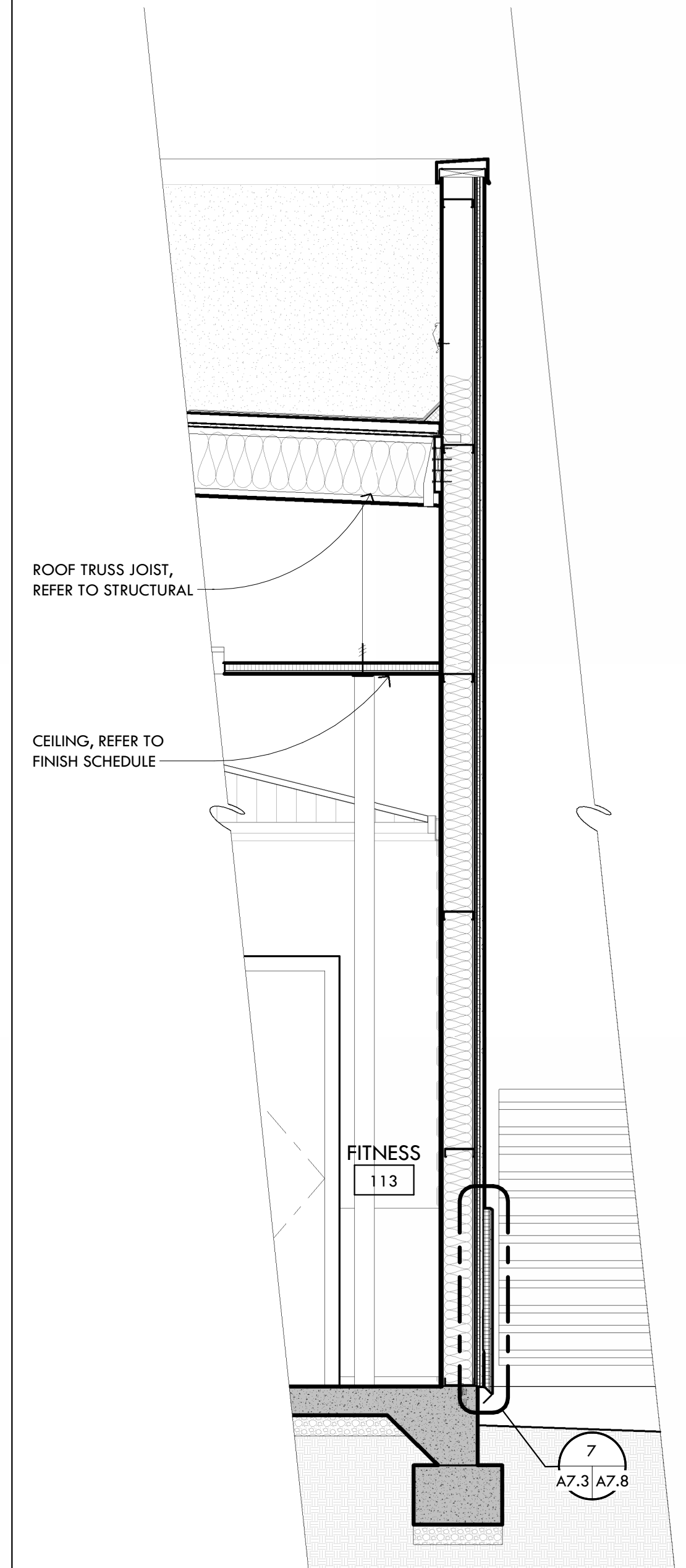
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Wall Sections

A7.3



Wall Section 1
1/2" = 1'-0" 0' 2' 6'

Wall Section 2
1/2" = 1'-0" 0' 2' 6'

Wall Section 3
1/2" = 1'-0" 0' 2' 6'

Wall Section 4
1/2" = 1'-0" 0' 4' 12'

Wall Section 5
1/2" = 1'-0" 0' 2' 6'

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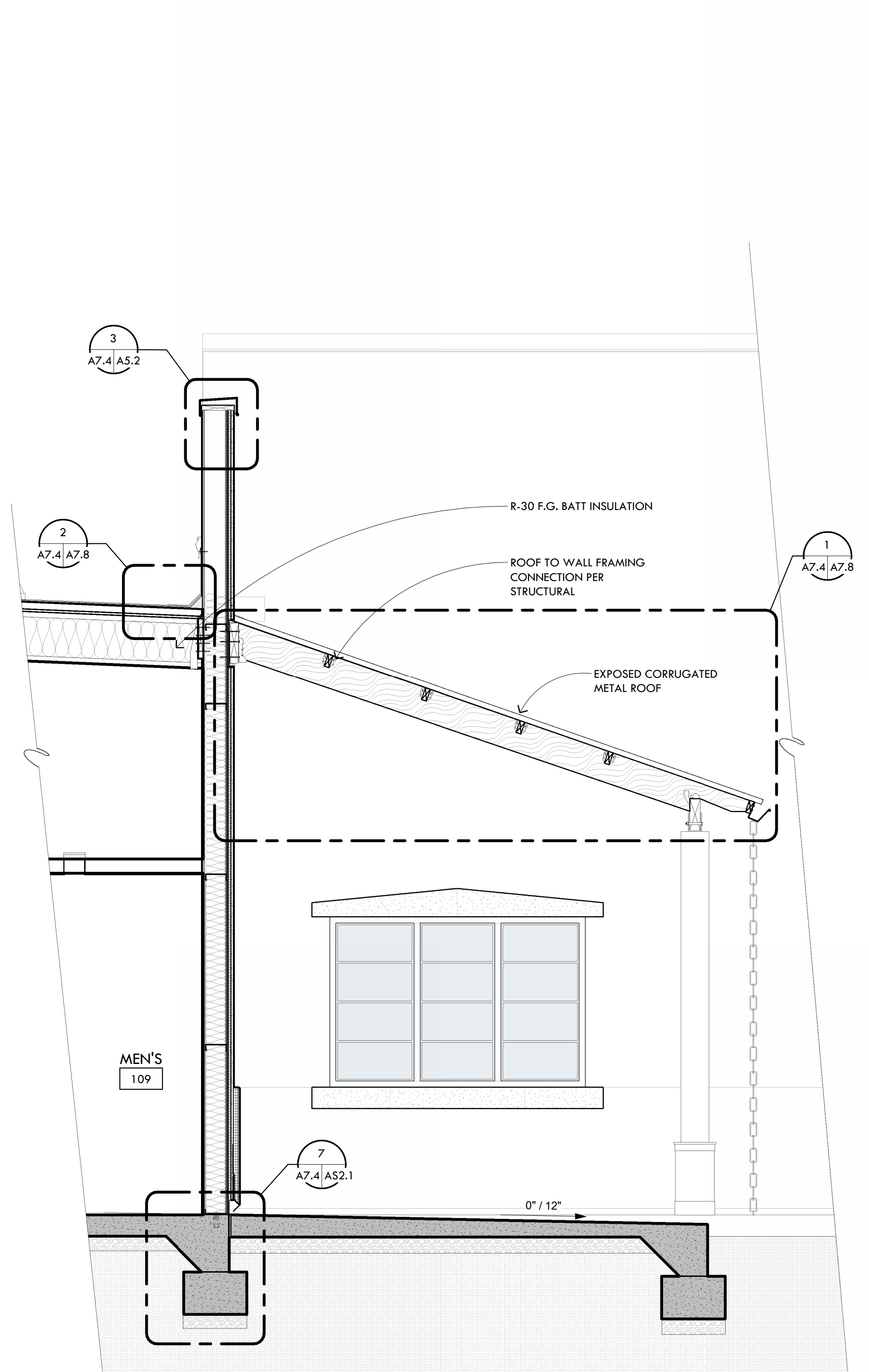
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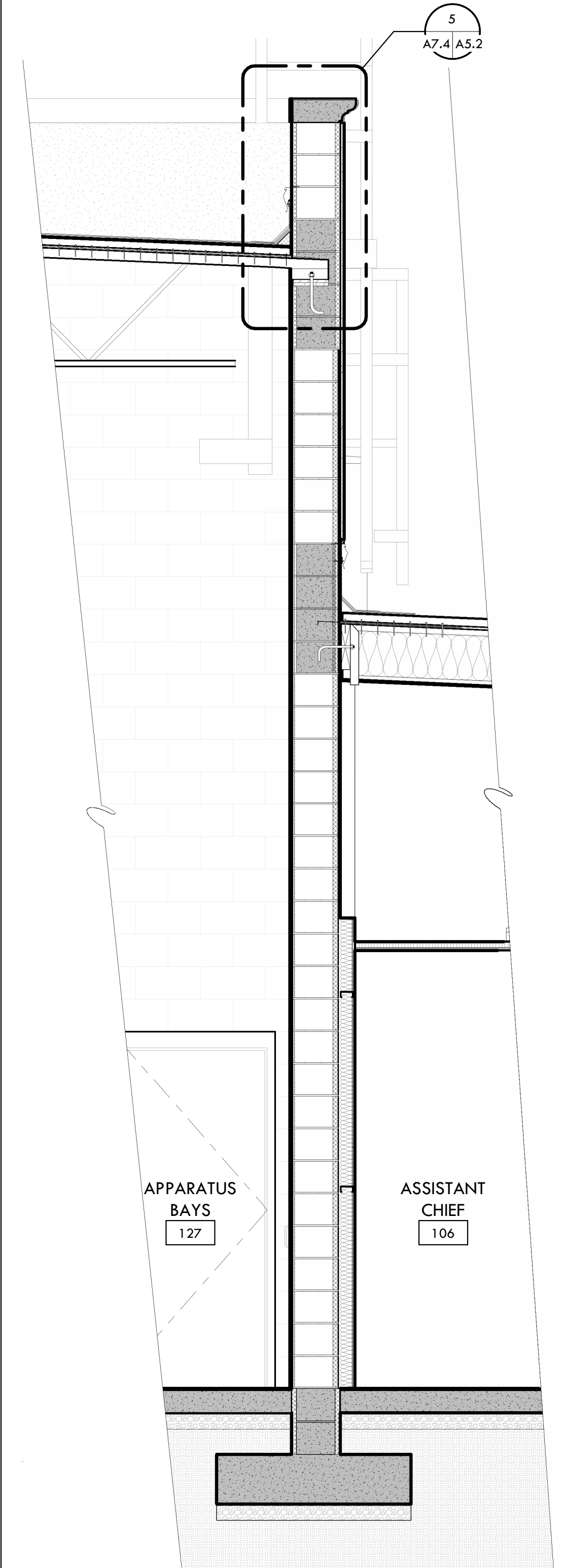
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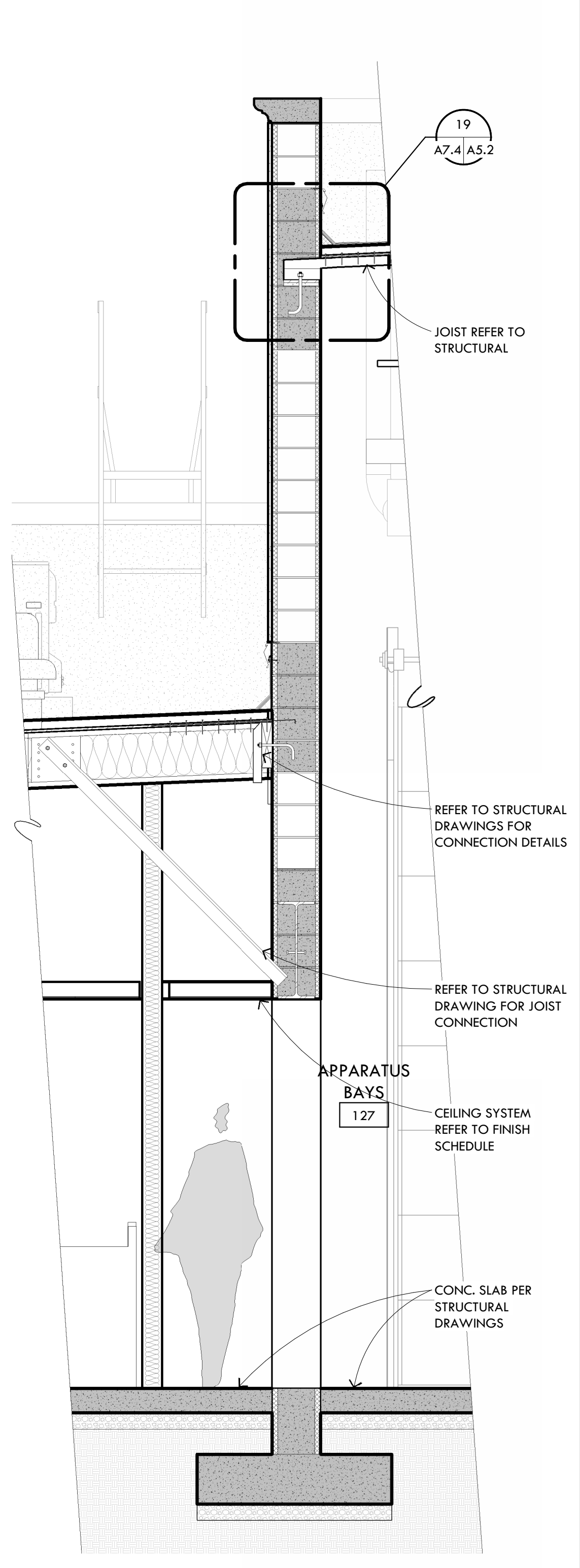
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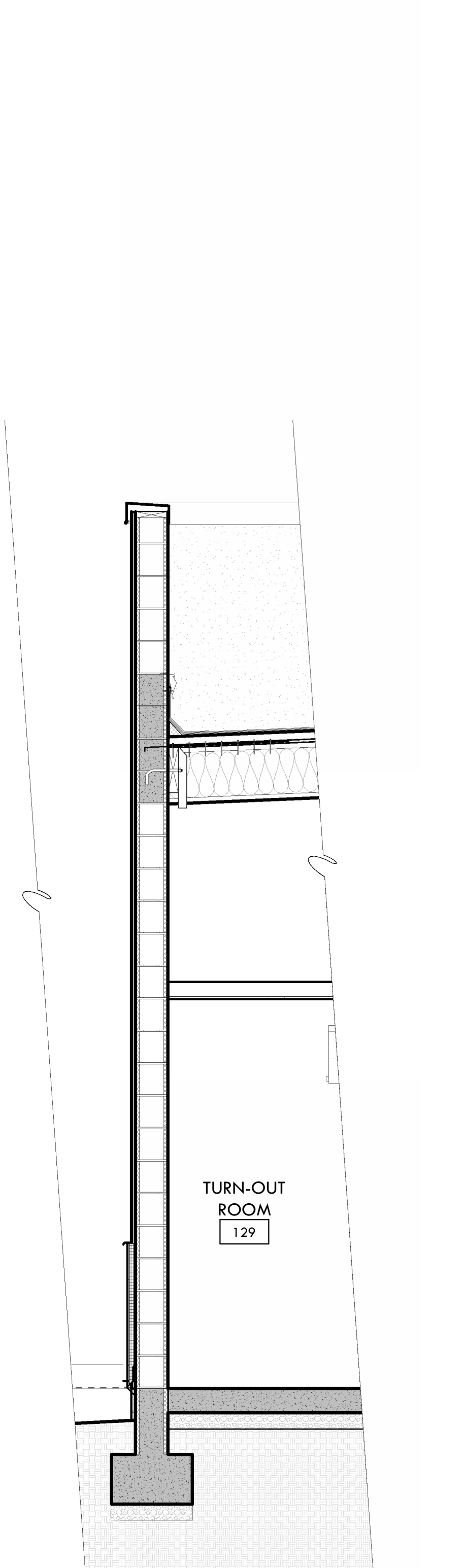
Wall Section 6
 1
 A7.1 A7.4
 1/2" = 1'-0" 0 2' 6'



Wall Section 7
 2
 A7.1 A7.4
 1/2" = 1'-0" 0 2' 6'



Wall Section 8
 3
 A7.1 A7.4
 1/2" = 1'-0" 0 2' 6'



Wall Section 9
 4
 A7.1 A7.4
 1/2" = 1'-0" 0 2' 6'

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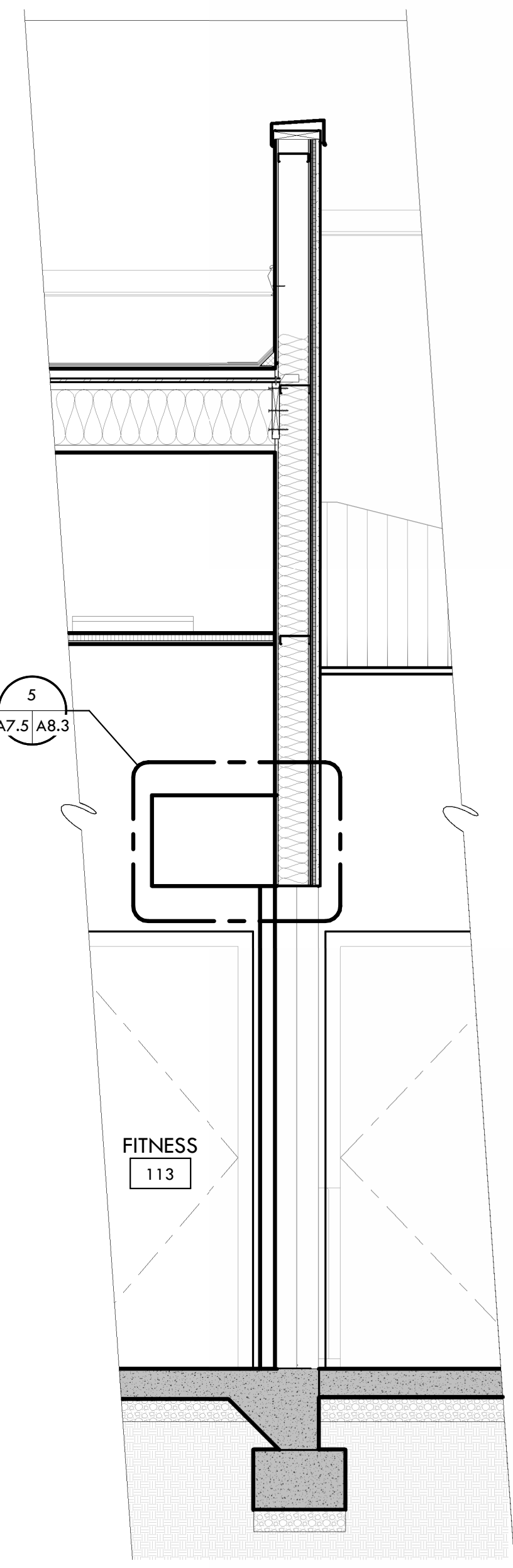
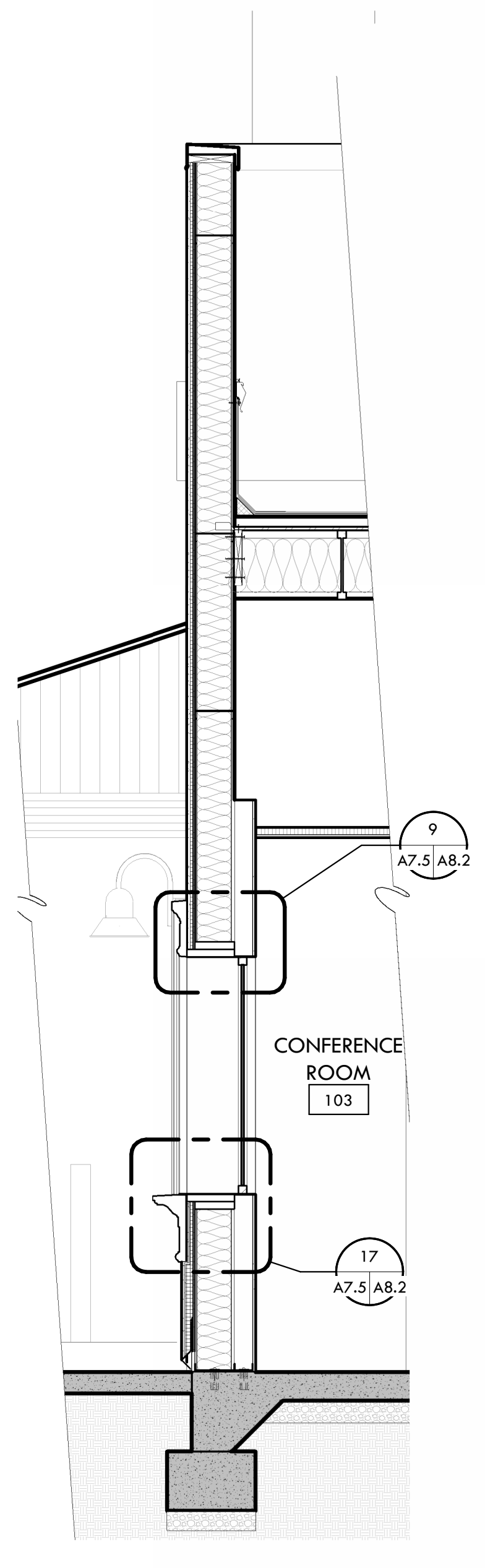
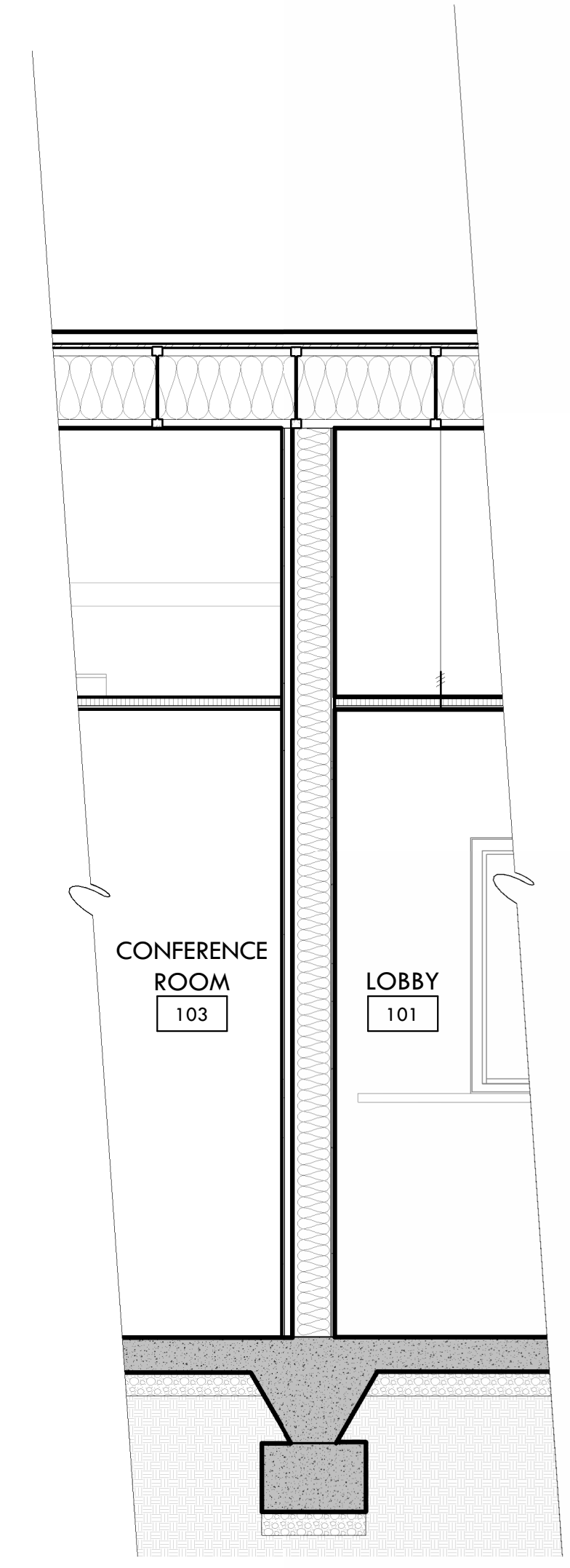
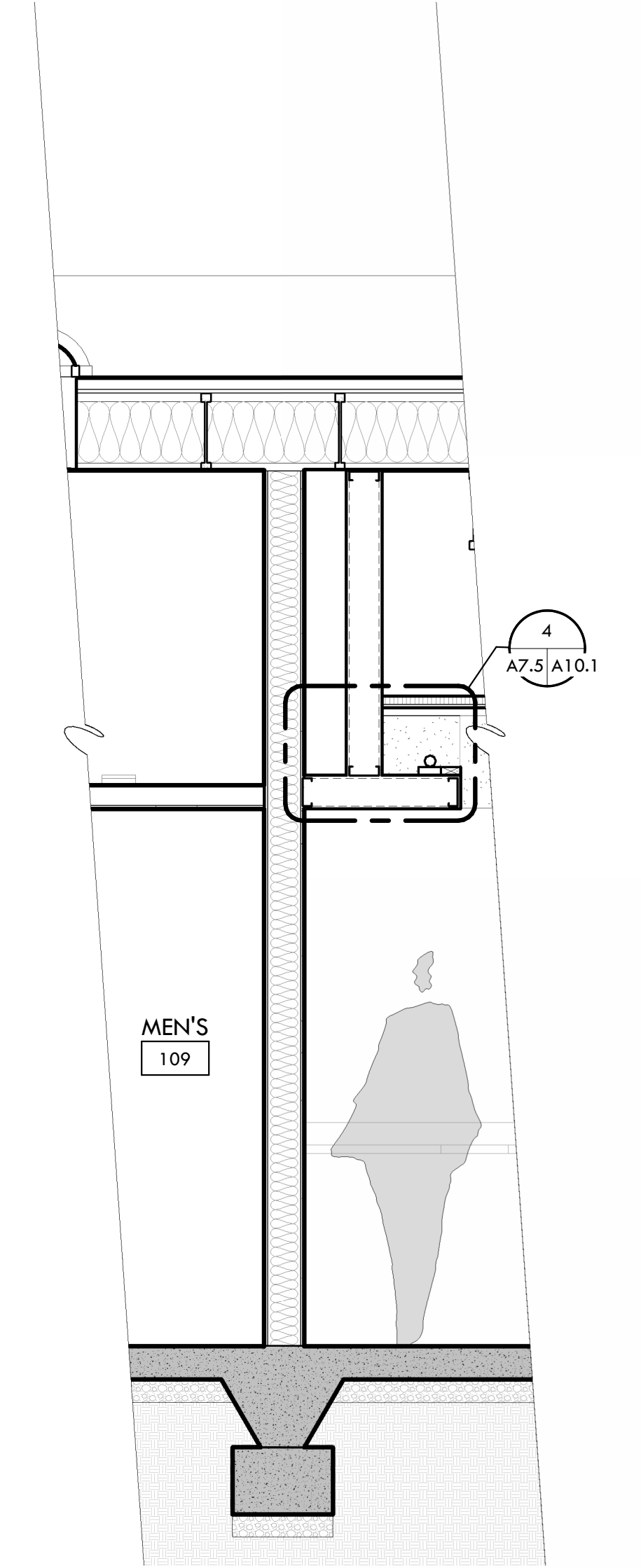
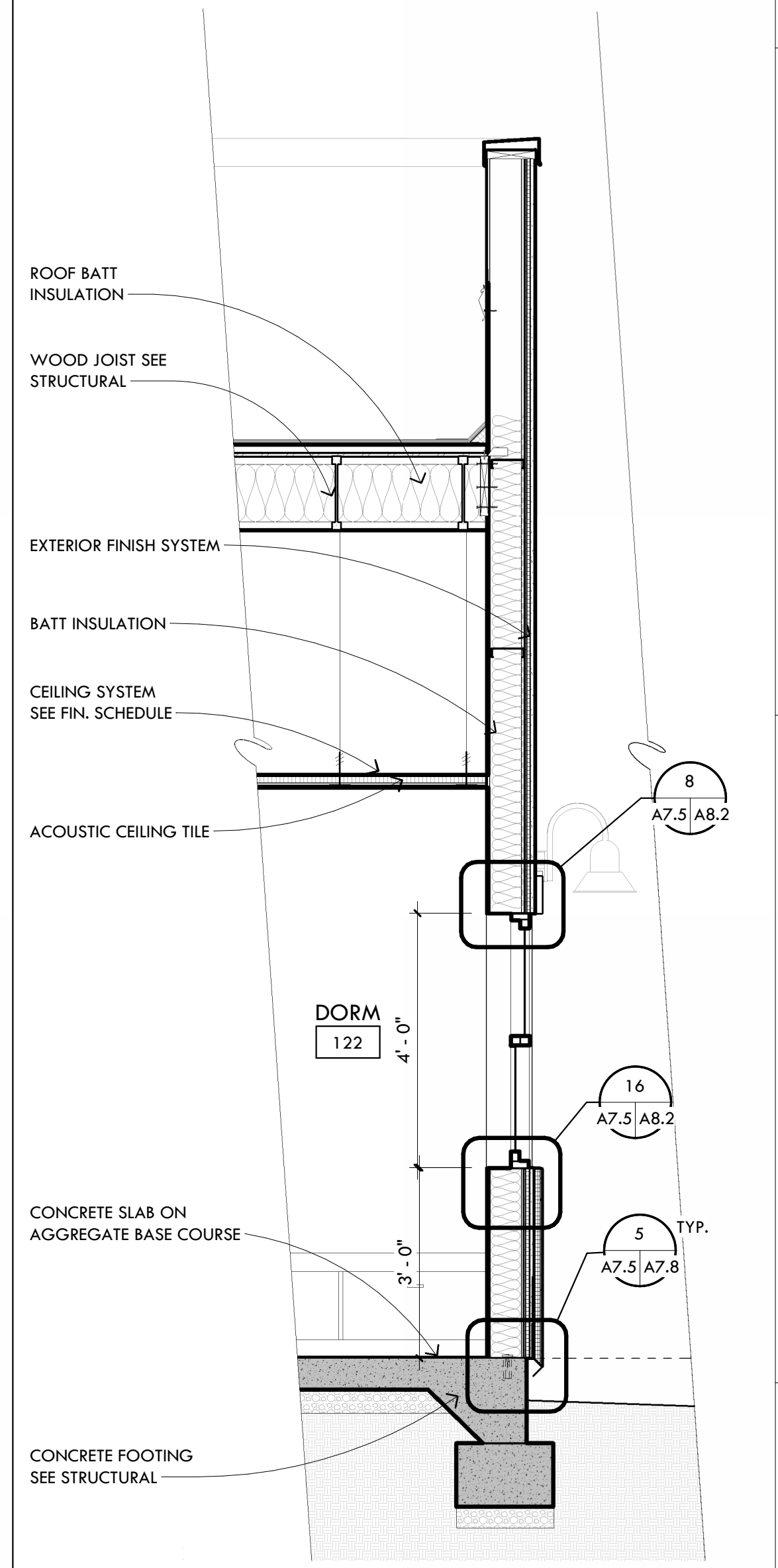
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Wall Sections

A7.5



Wall Section 10
1/2" = 1'-0" 0 2' 6'

Wall Section 11
1/2" = 1'-0" 0 2' 6'

Wall Section 12
1/2" = 1'-0" 0 2' 6'

Wall Section 13
1/2" = 1'-0" 0 2' 6'

Wall Section 14
1/2" = 1'-0" 0 2' 6'

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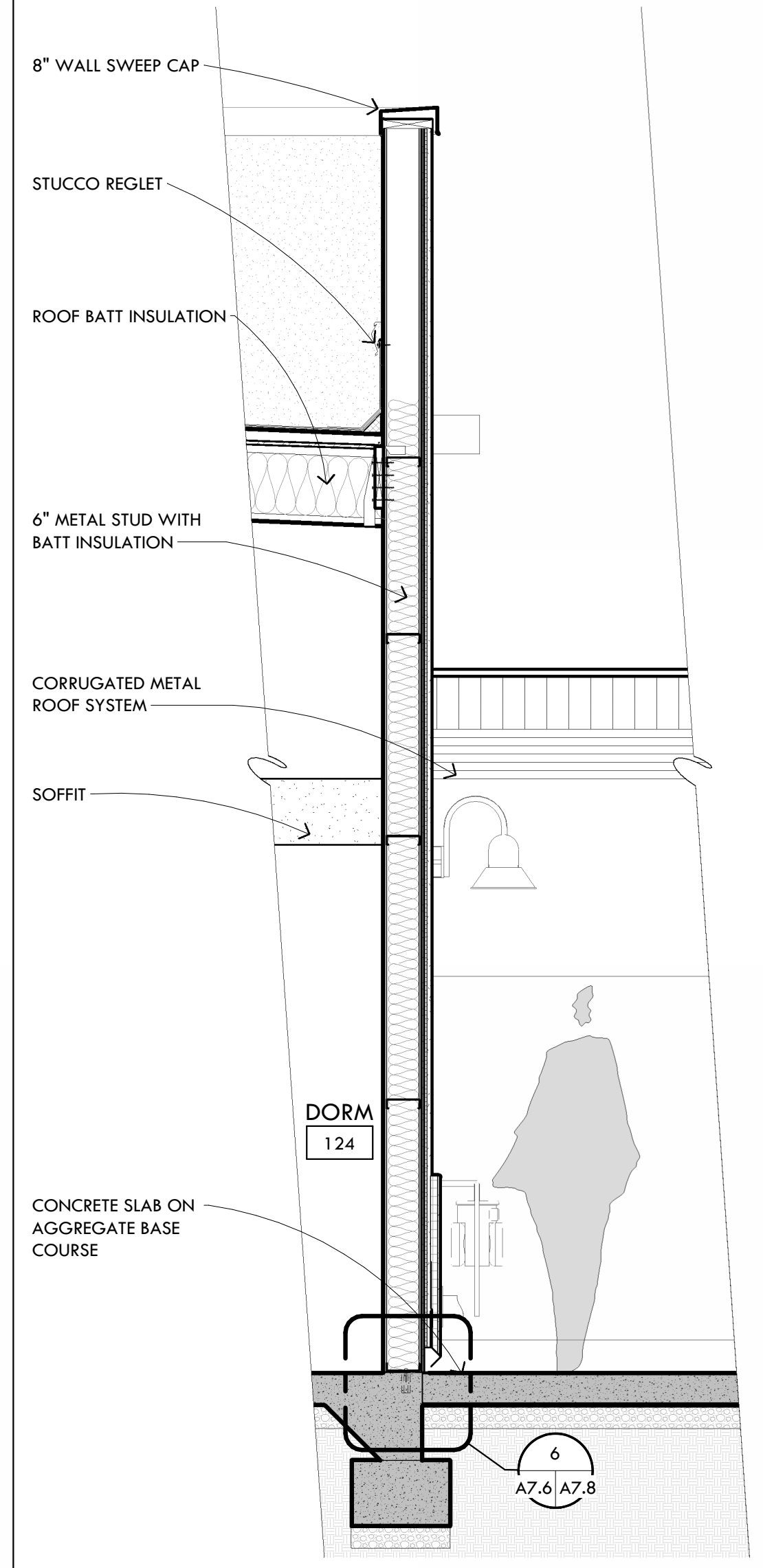
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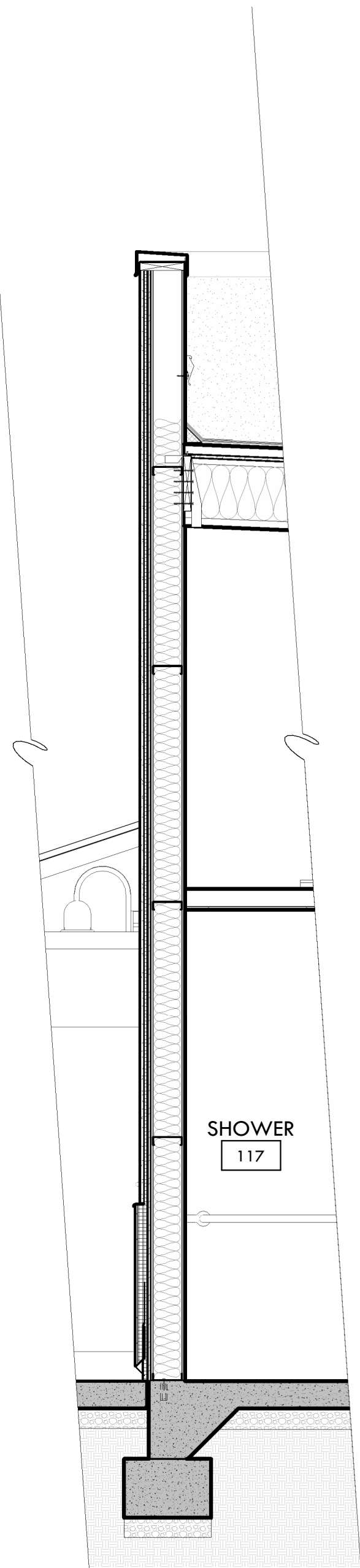
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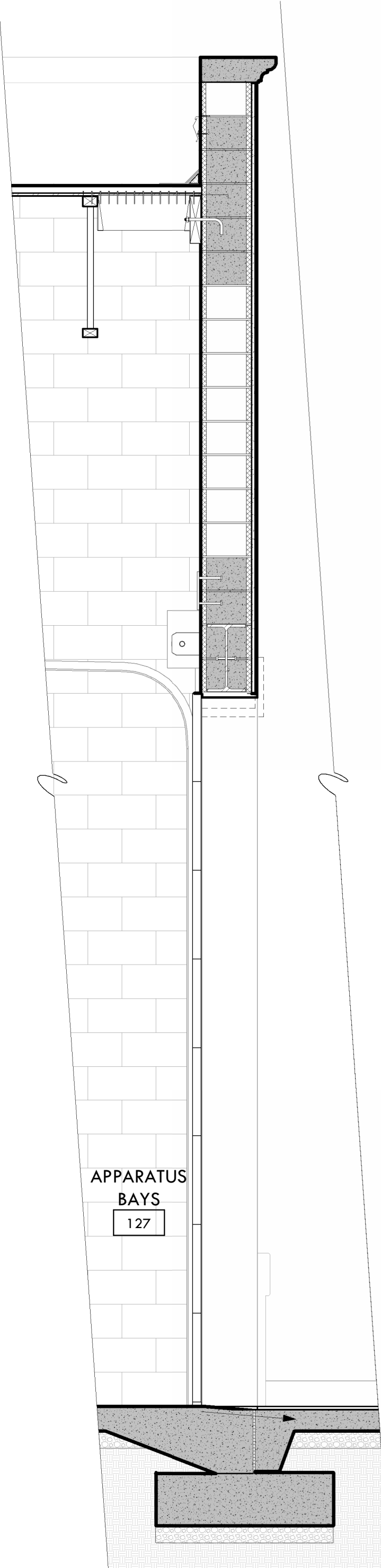
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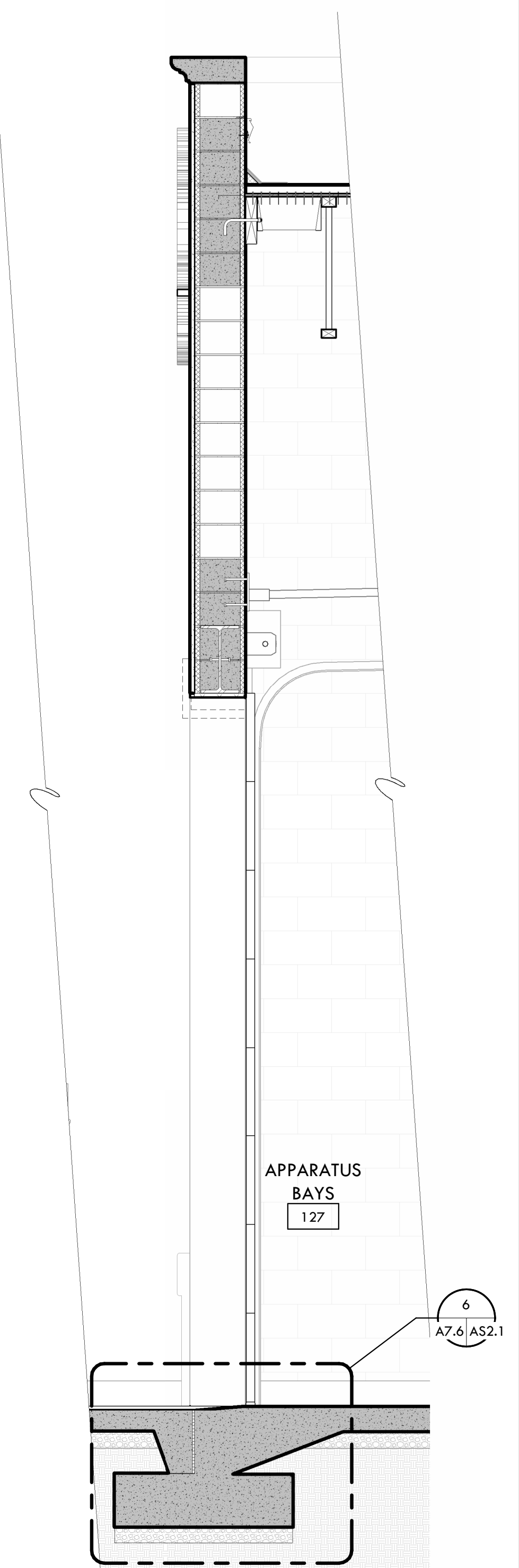
6
A7.6 A7.8



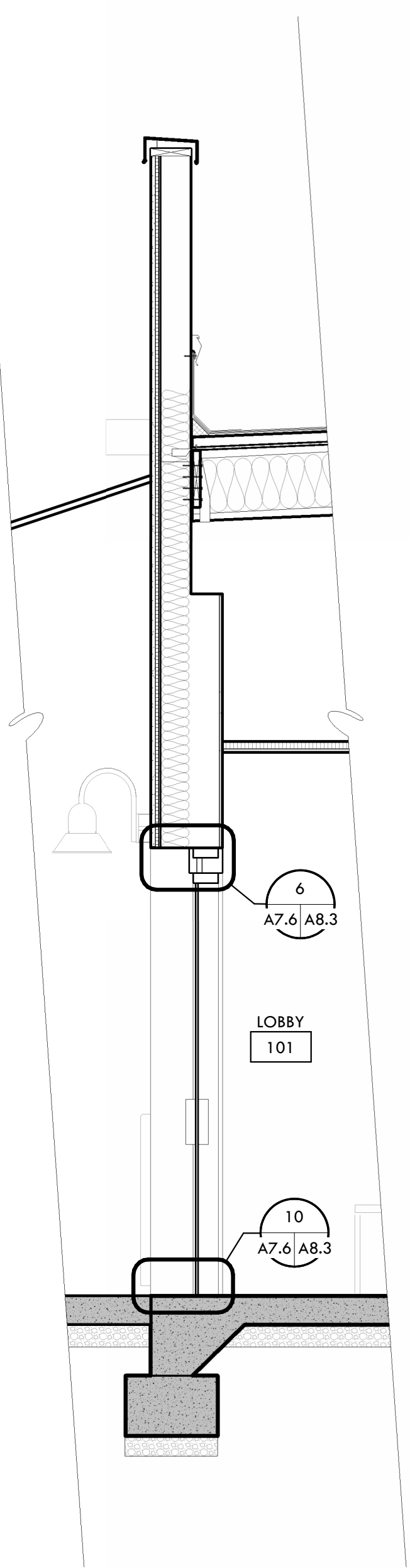
2
A7.1 A7.6



3
A7.1 A7.6



4
A7.1 A7.6



5
A2.1 A7.6

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Wall Section 19

Wall Section 18

Wall Section 17

Wall Section 16

Wall Section 15

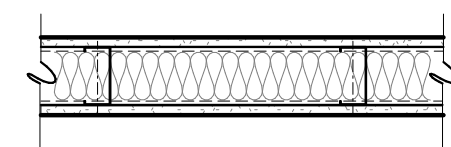
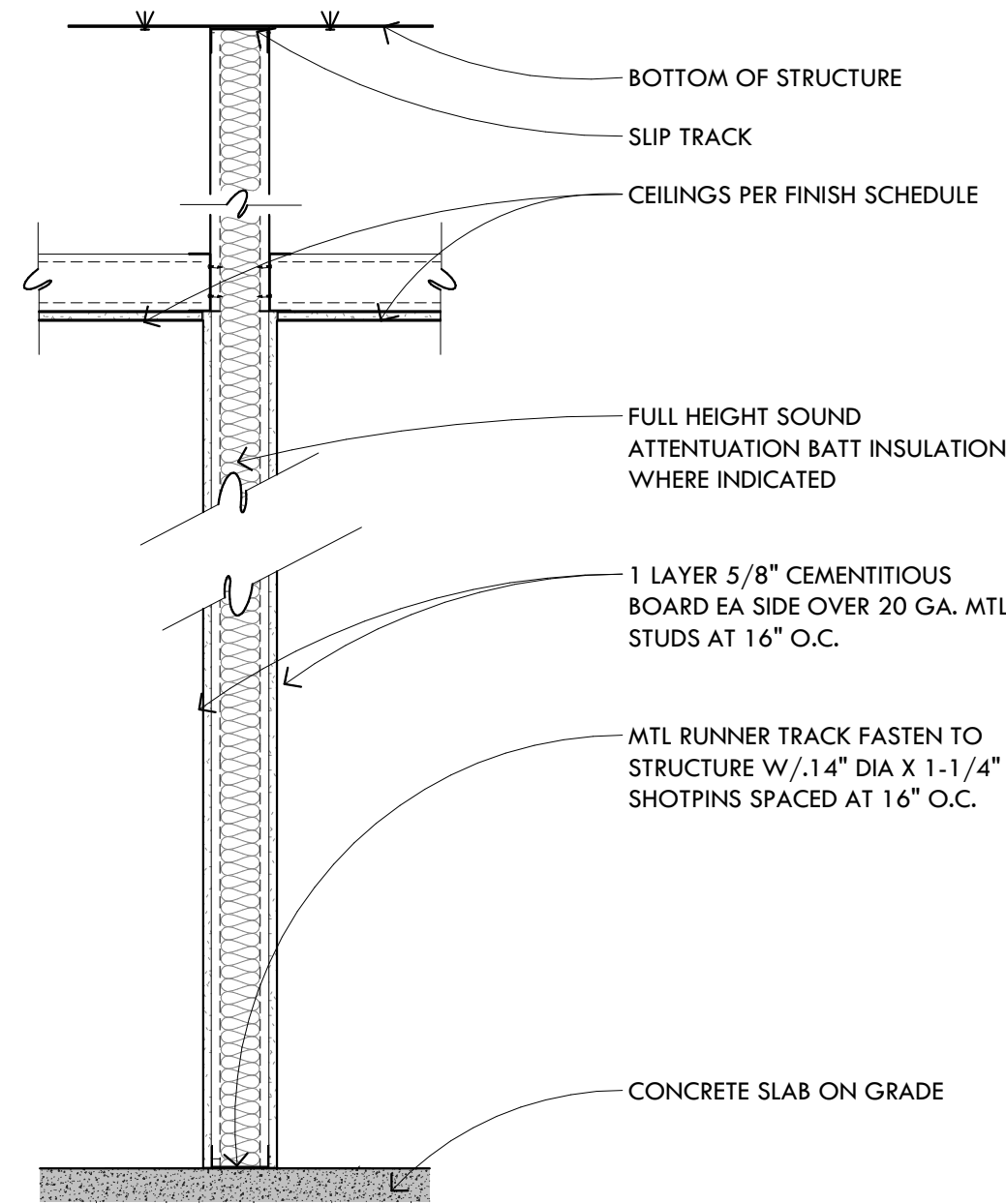
1/2" = 1'-0" 0' 2' 6'

1/2" = 1'-0" 0' 2' 6'

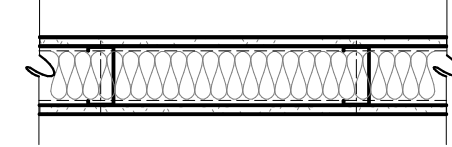
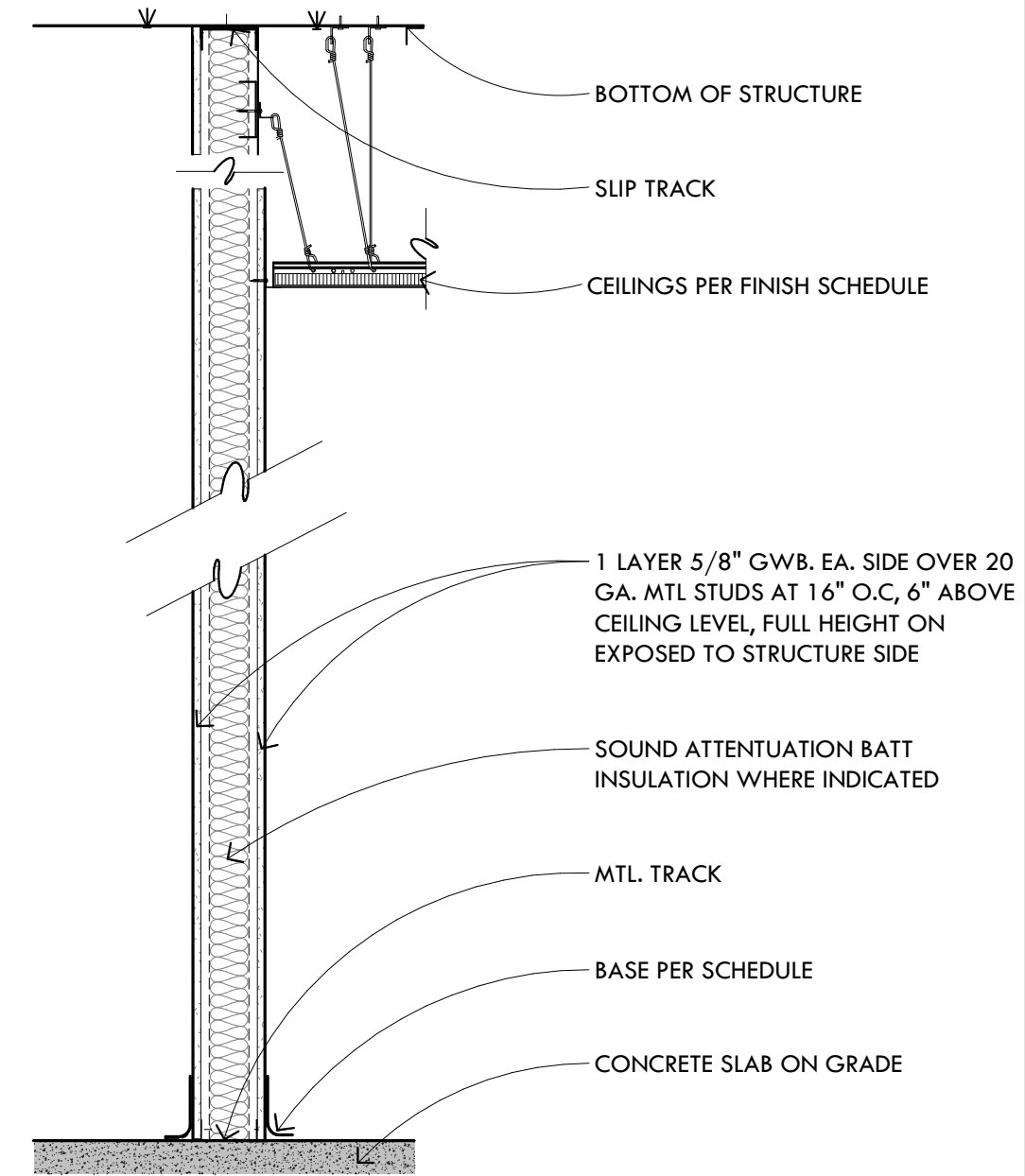
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1/2" = 1'-0" 0' 2' 6'

1/2" = 1'-0" 0' 2' 6'



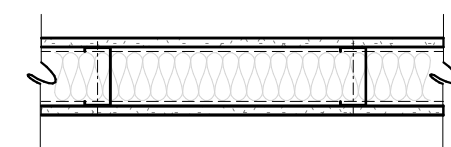
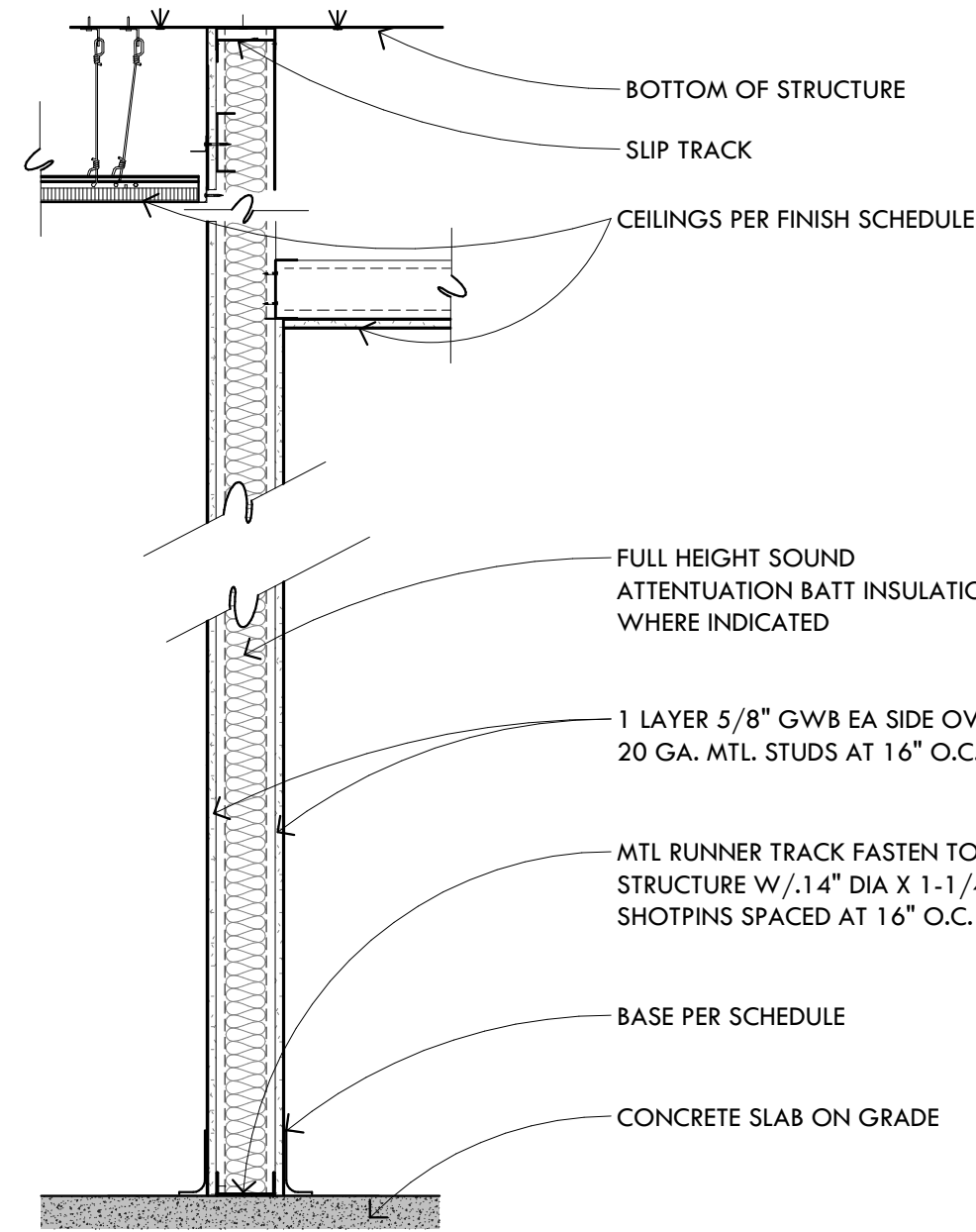
TYPE E:
3-5/8" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET



TYPE D:
3-5/8" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET

TYPE D.1:
3-5/8" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET,
HARD LID CEILING, PER FINISH SCHEDULE

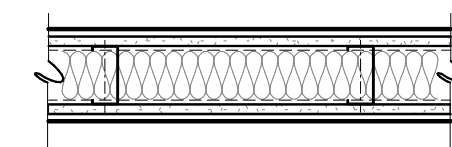
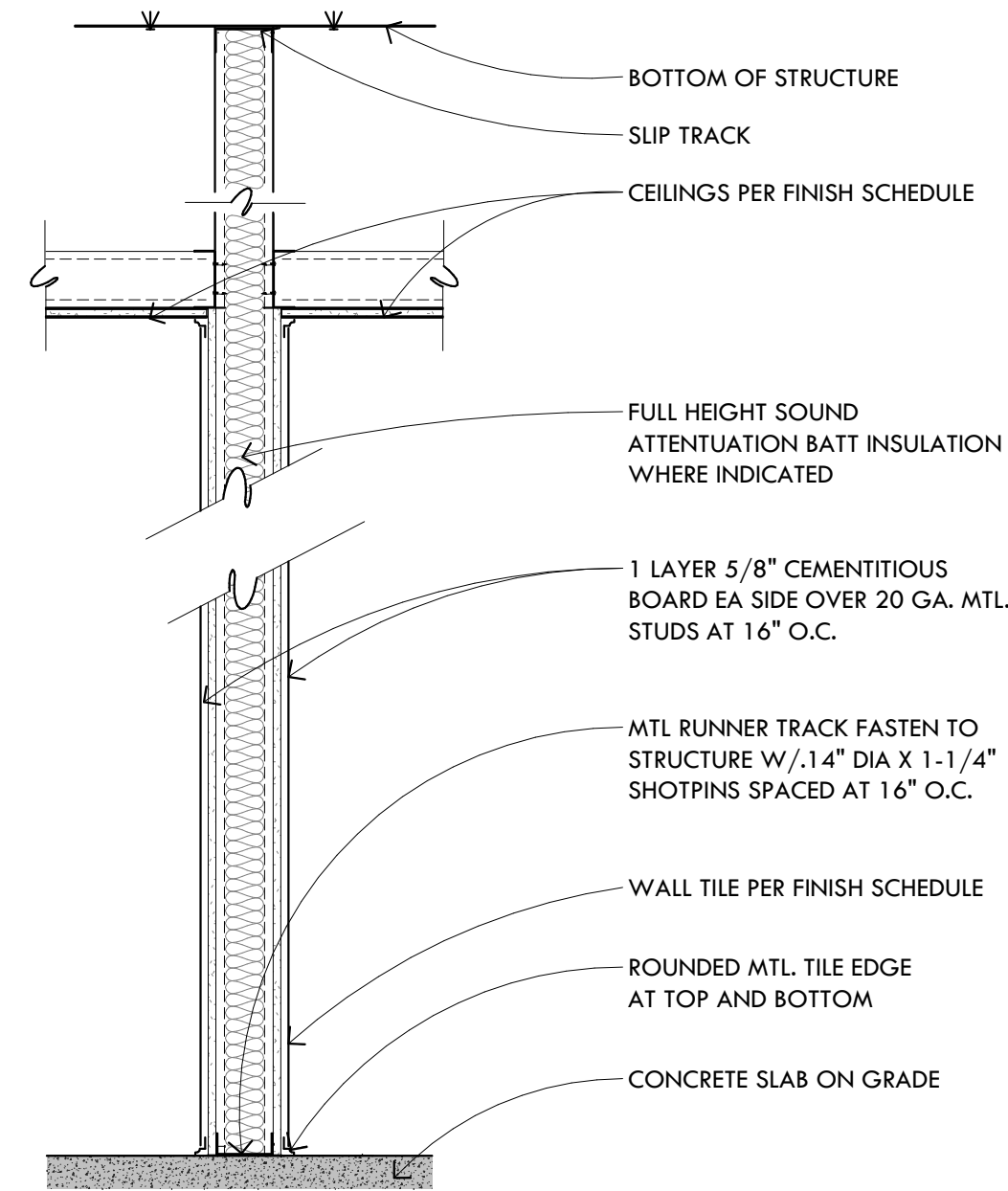
TYPE D.2:
SIMILAR TO 'D' - 6" 20 GA. METAL STUDS
5-1/2" SOUND ATTENUATION BLANKET
END GYP. BOARD 6" ABOVE CEILING



TYPE C:
3-5/8" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET

TYPE C.1:
SIMILAR TO 'C' - 6" 20 GA. METAL STUDS
7-1/2" SOUND ATTENUATION BLANKET

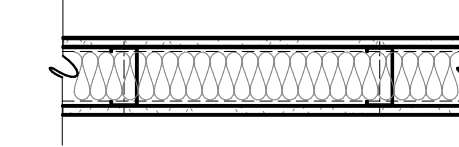
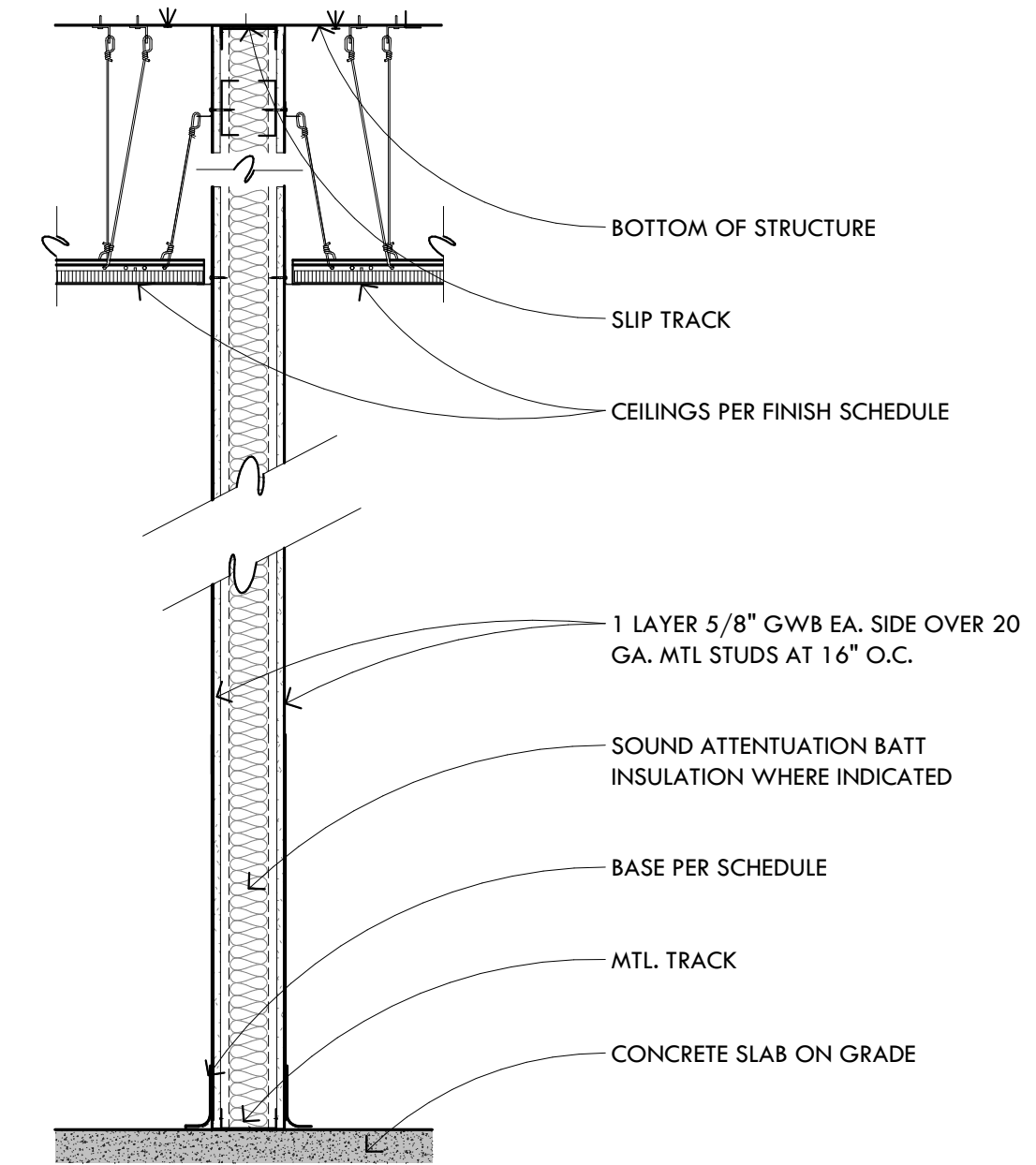
TYPE C.2:
3-5/8" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET
CERAMIC TILE ONE SIDE, PER FINISH SCHEDULE



TYPE B:
6" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET
CERAMIC TILE BOTH SIDES, PER FINISH SCHEDULE

TYPE B.1:
12" (6" X 2") 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET

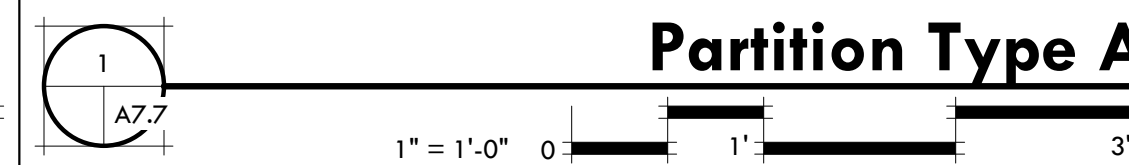
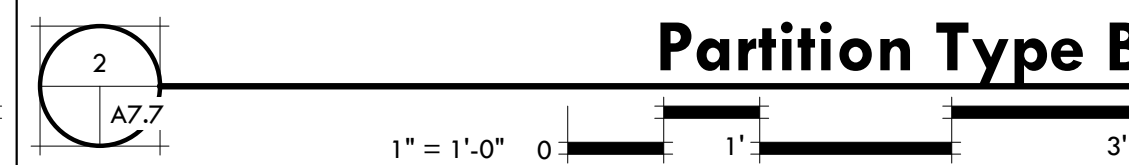
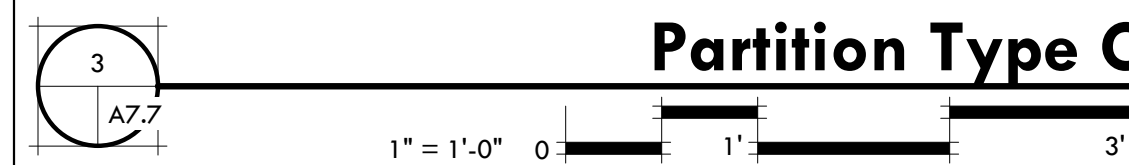
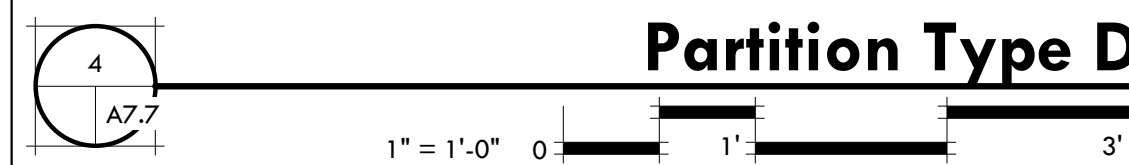
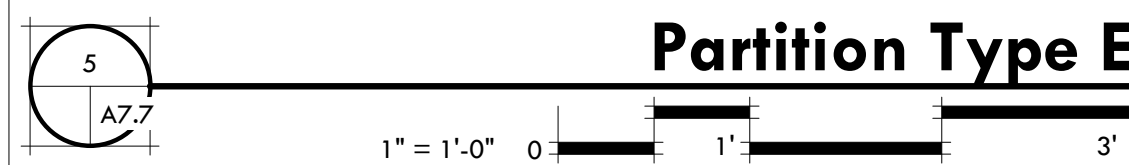
TYPE B.2:
3-5/8" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET
CERAMIC TILE ONE SIDE, OTHER SIDE PER WALL TYPE 'A'



TYPE A:
3-5/8" 20 GA. METAL STUDS AT 16" O.C.
3-1/2" SOUND ATTENUATION BLANKET

TYPE A.1:
SIMILAR TO 'A' - 6" 20 GA. METAL STUDS
5-1/2" SOUND ATTENUATION BLANKET
END GYP. BOARD 6" ABOVE CEILING

TYPE A.2:
3-5/8" 20 GA. METAL STUDS
5-1/2" SOUND ATTENUATION BLANKET
END GYP. BOARD 6" ABOVE CEILING



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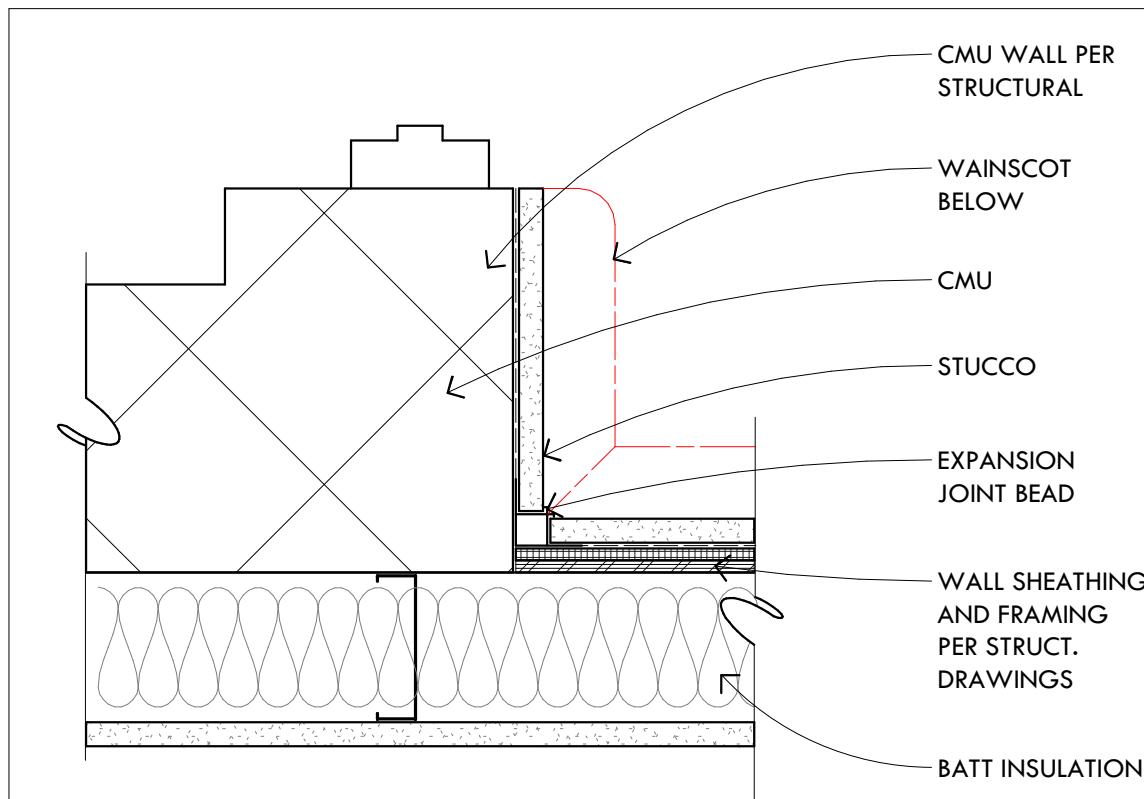
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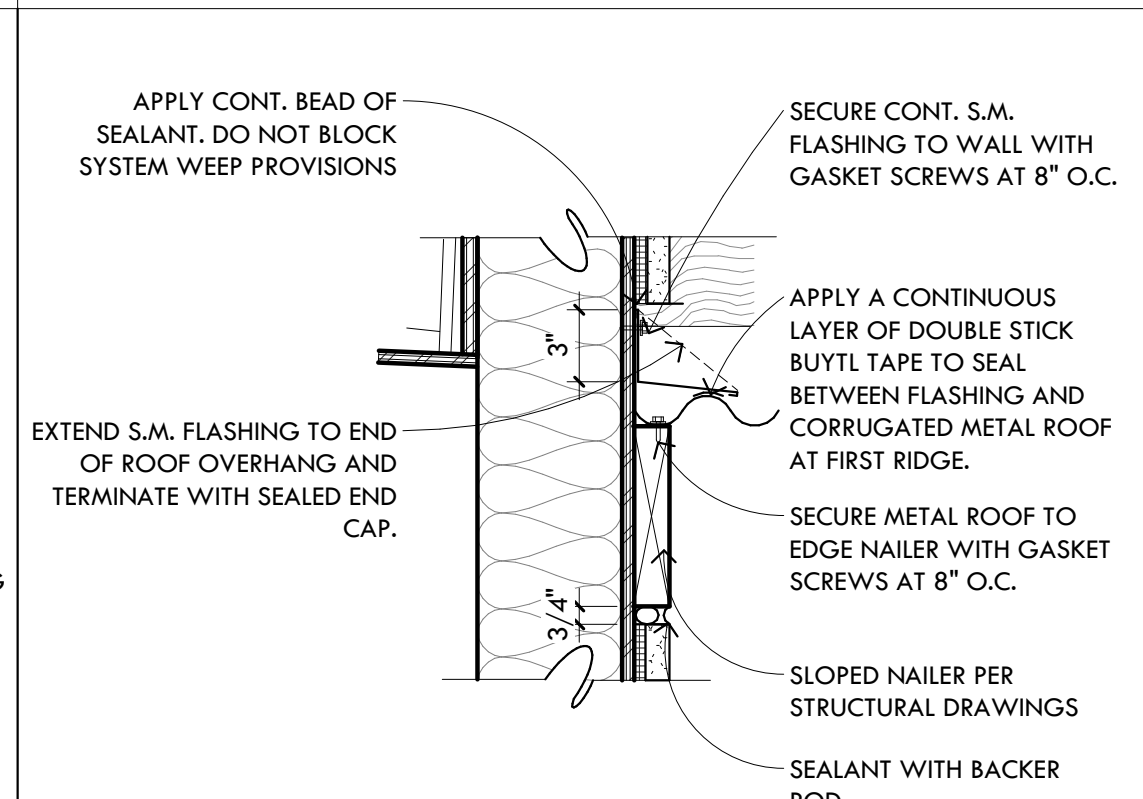
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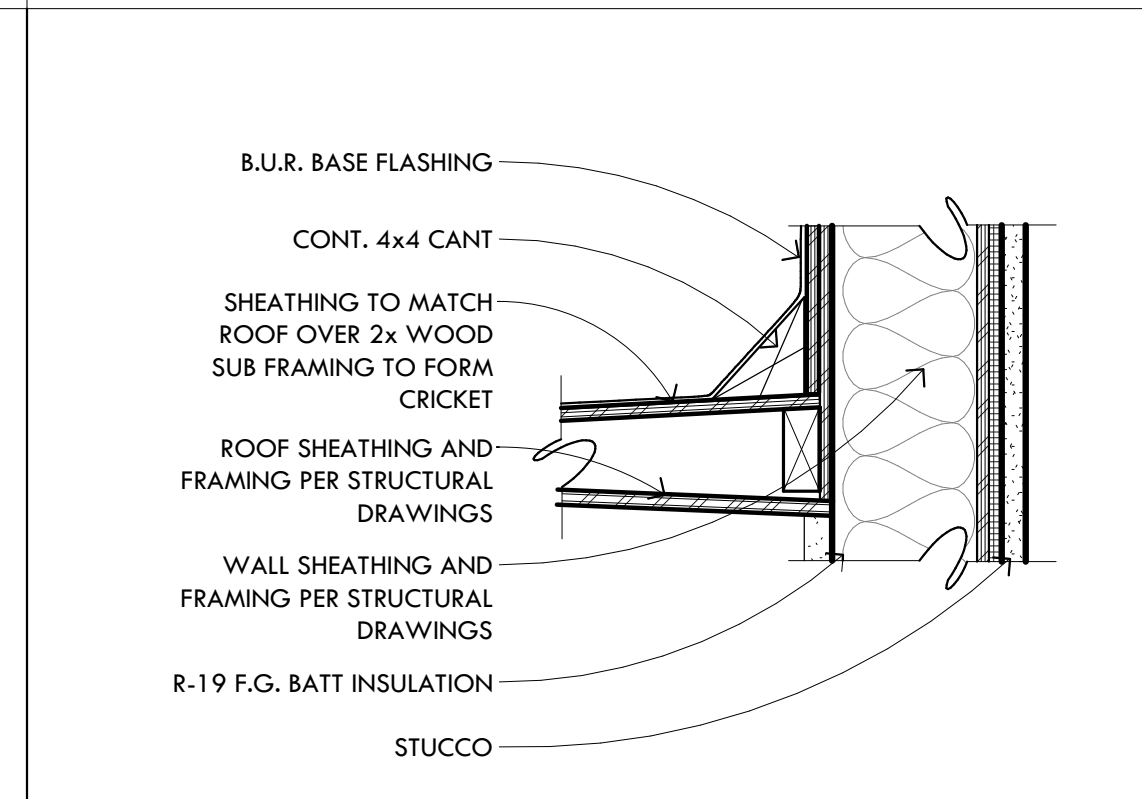
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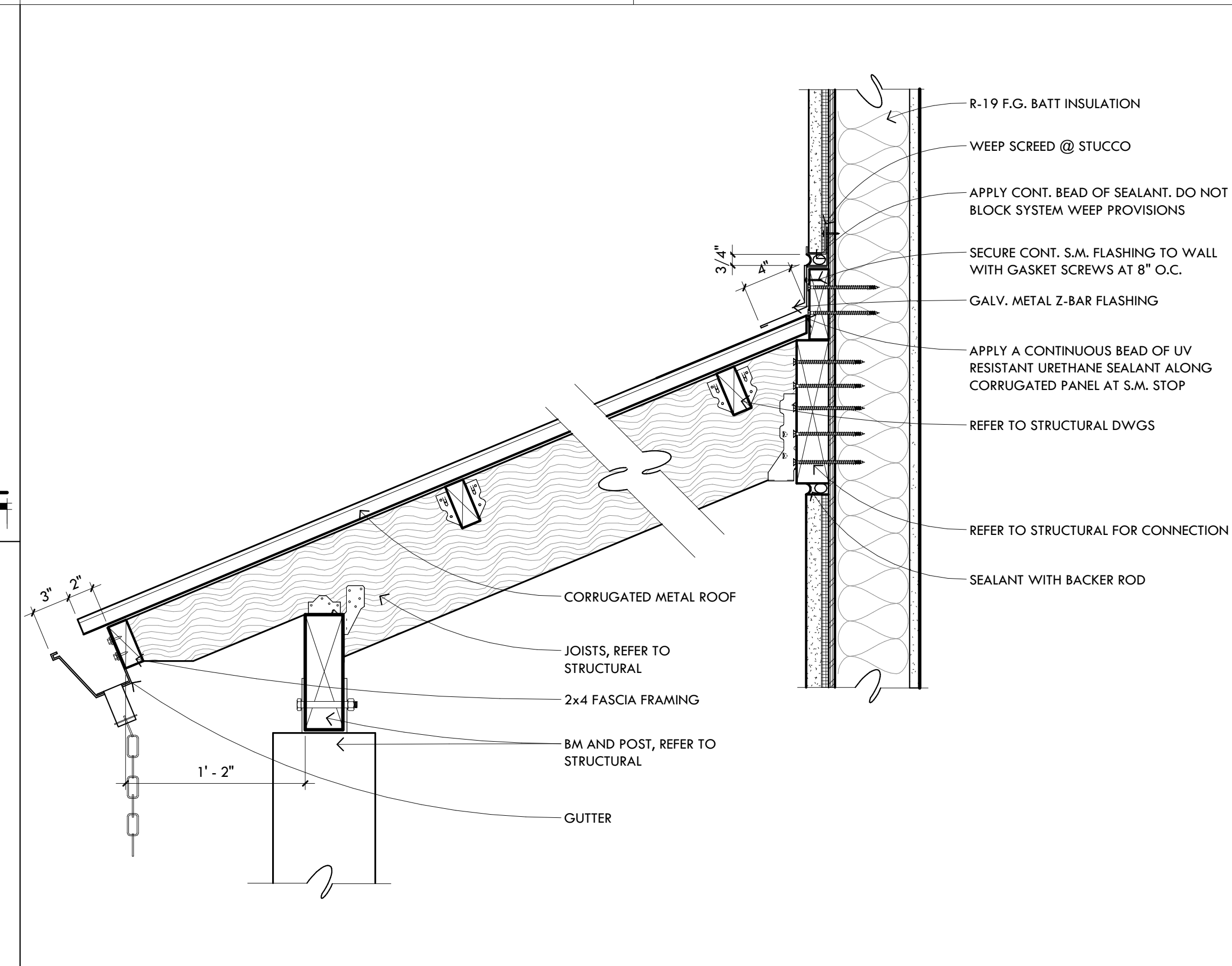
4
A7.8
Corner Expansion Joint
1 1/2" = 1'-0" 0' 6" 2'



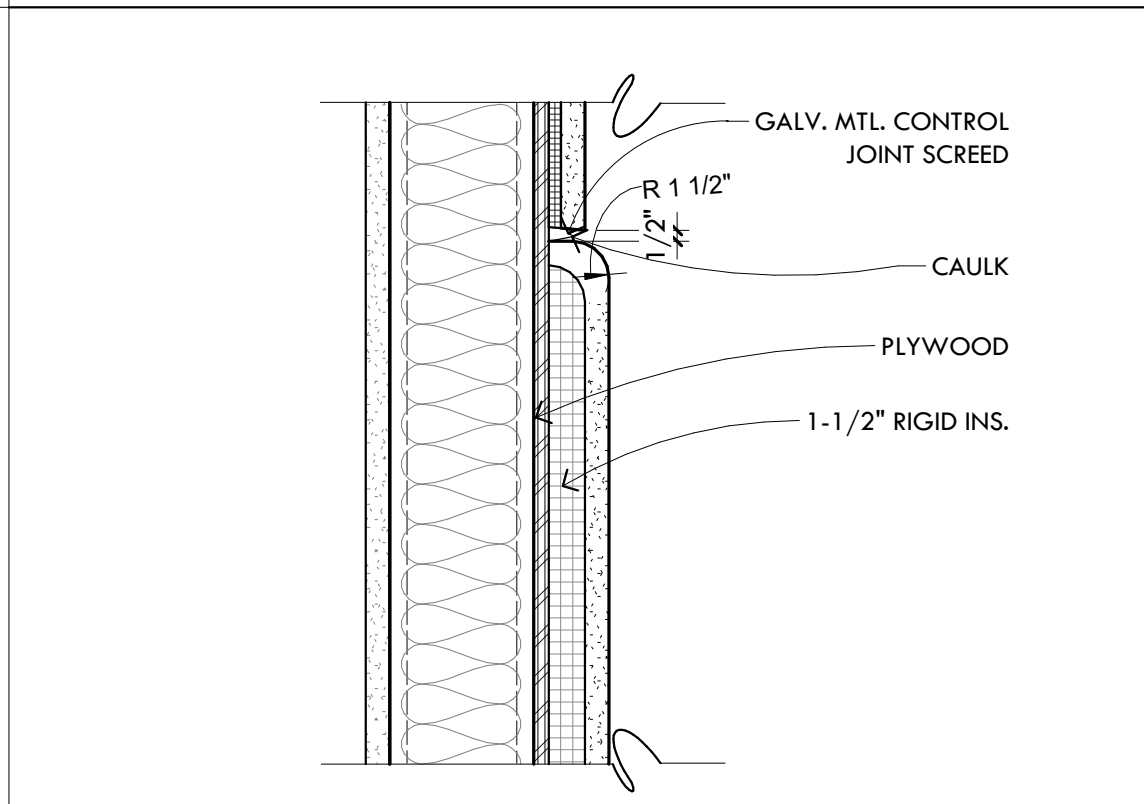
3
A7.8
Frame Roof Connection 2
1 1/2" = 1'-0" 0' 6" 2'



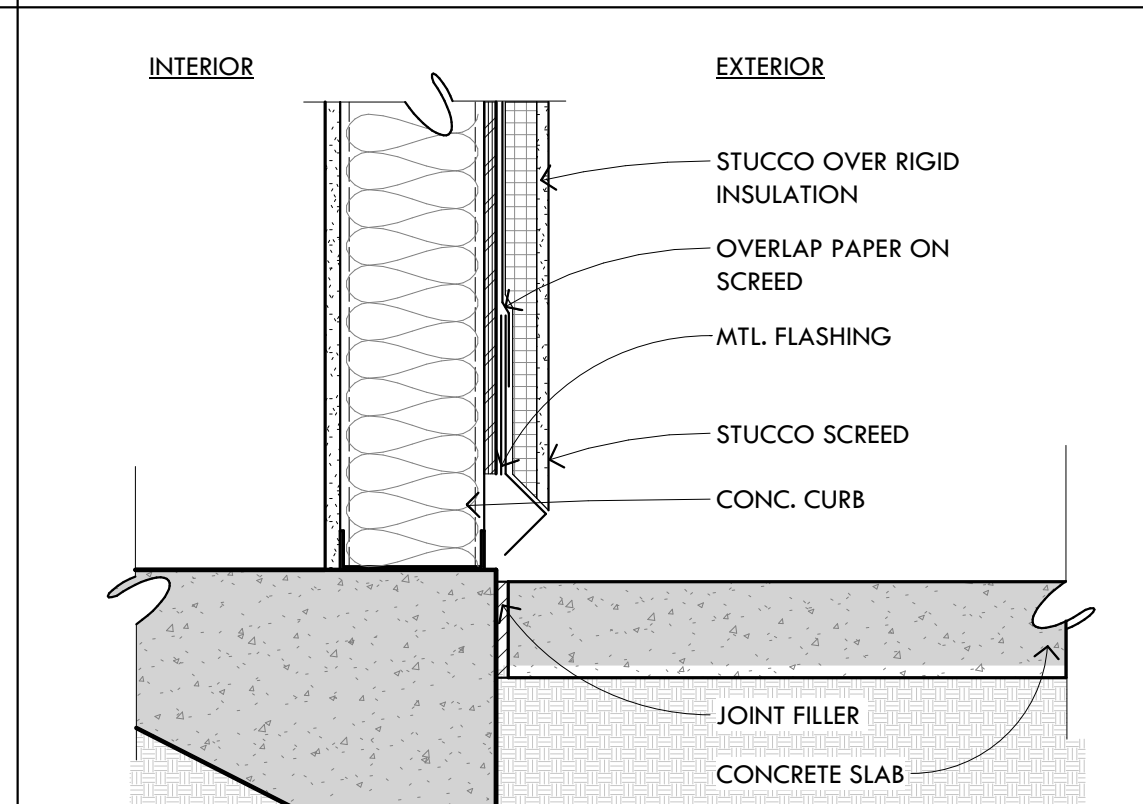
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A7.4 A7.8
Frame Roof Connection 1
1 1/2" = 1'-0" 0' 6" 2'



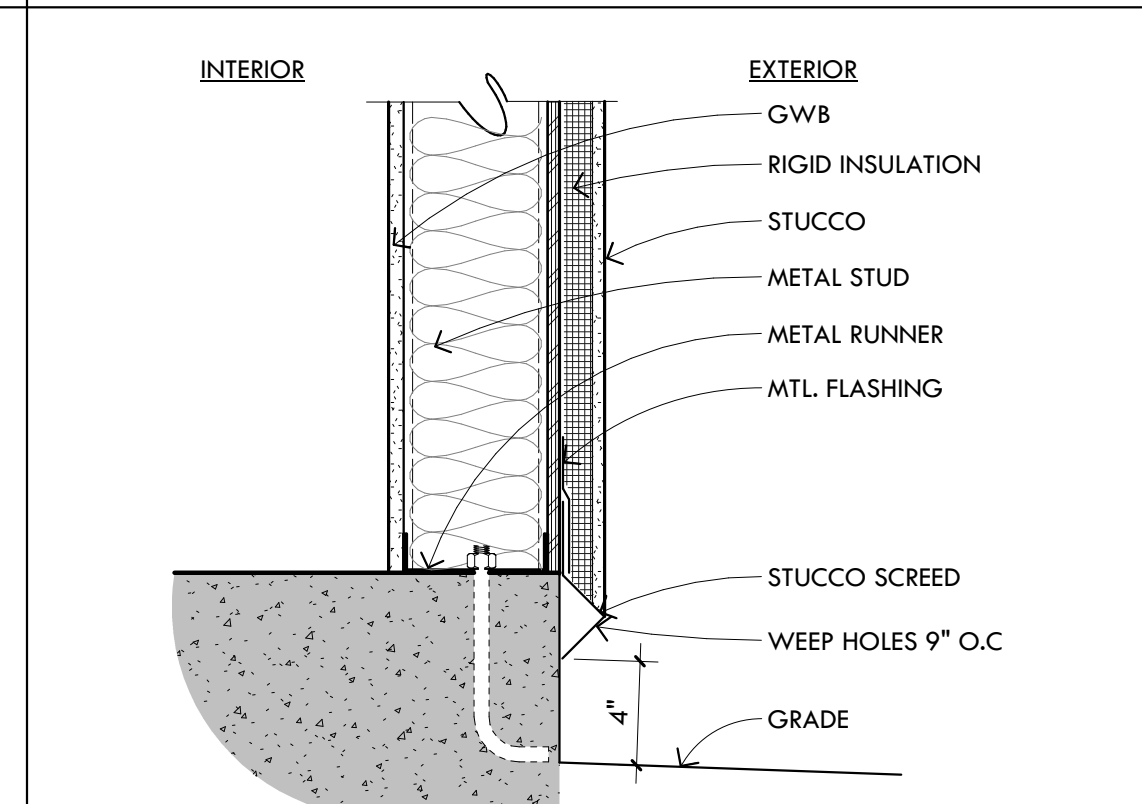
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A7.4 A7.8
Porch Framing
1 1/2" = 1'-0" 0' 6" 2'



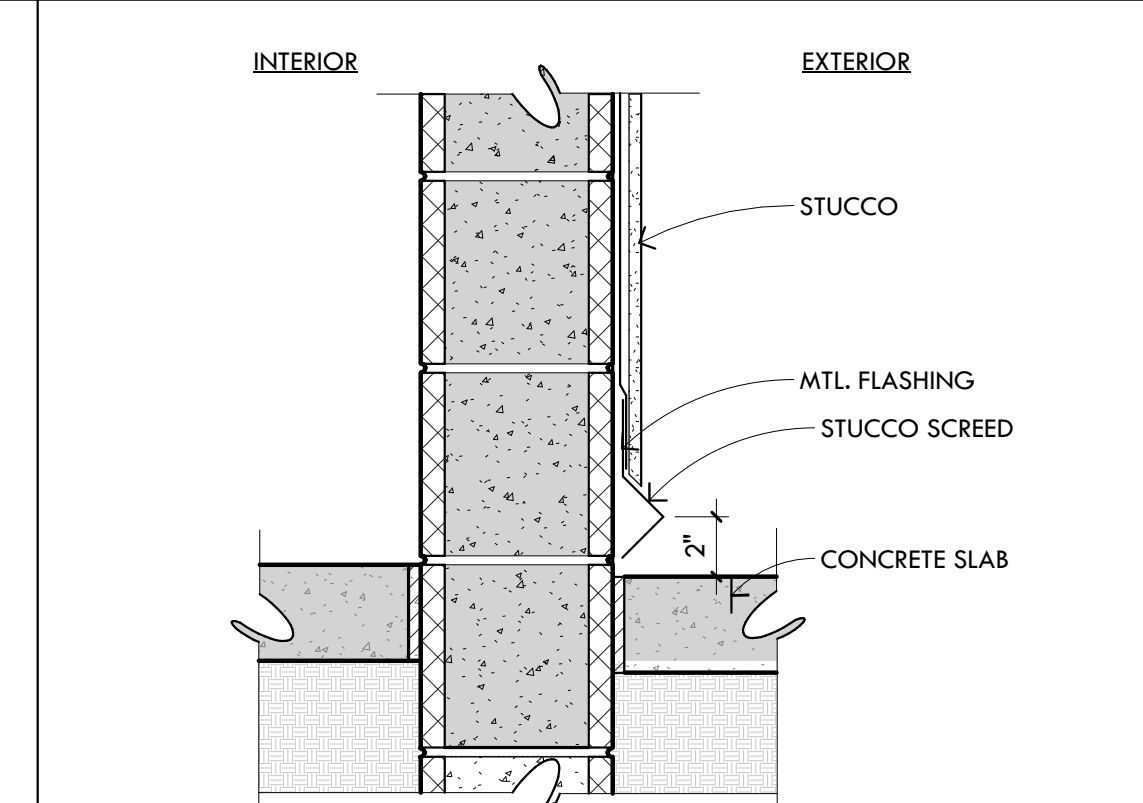
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A7.3 A7.8
Exterior Wainscot
1 1/2" = 1'-0" 0' 6" 2'



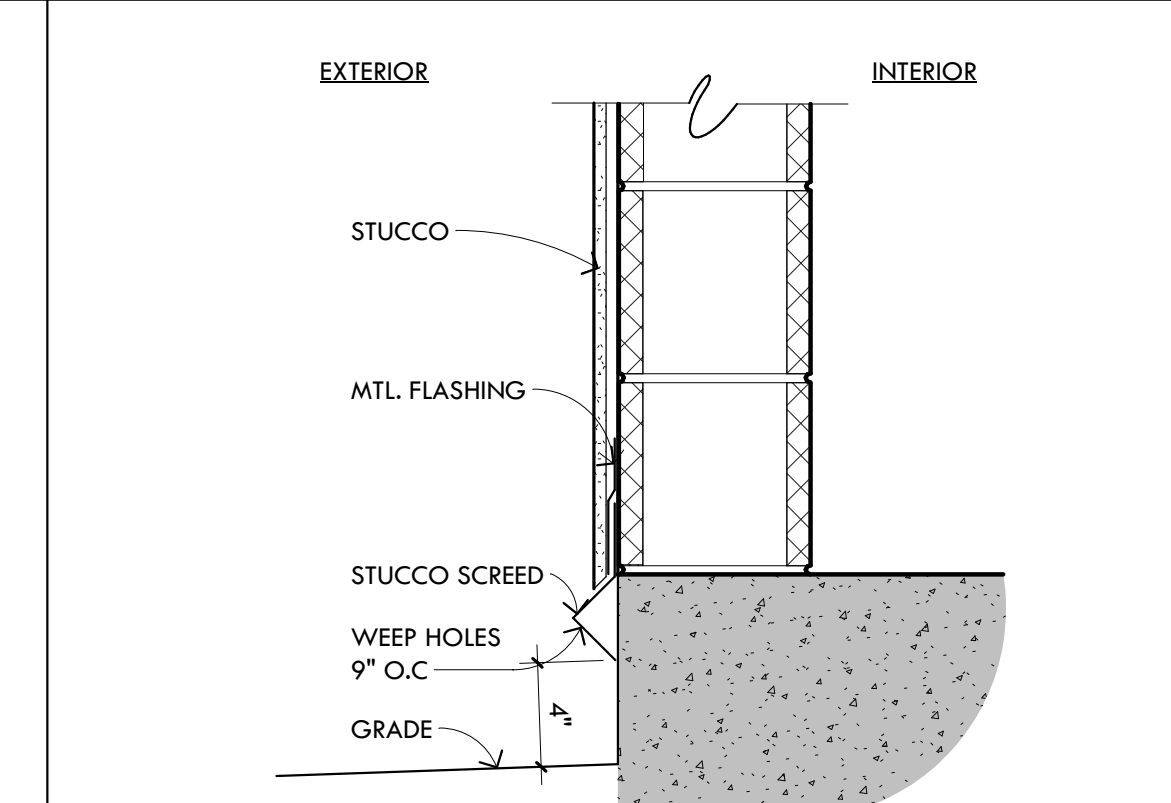
6
A7.6 A7.8
Weep Screed Det.
1 1/2" = 1'-0" 0' 6" 2'



5
A7.5 A7.8
MTL. Stud Weep Screed
1 1/2" = 1'-0" 0' 6" 2'



9
A7.8
CMU Weep Screed Det.
1 1/2" = 1'-0" 0' 6" 2'

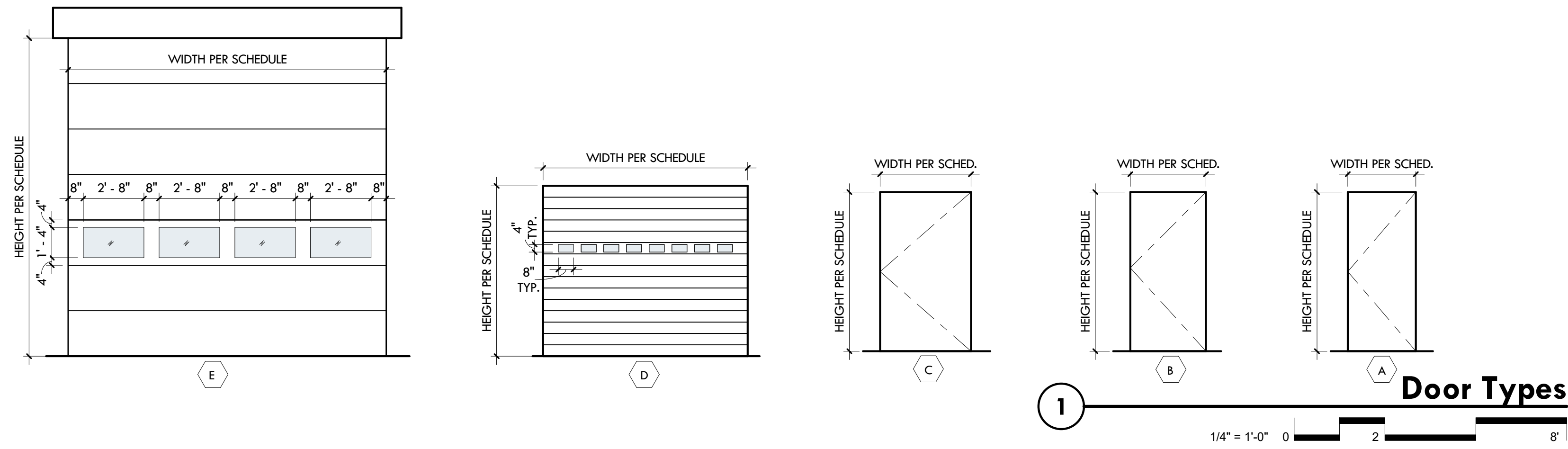


8
A7.3 A7.8
CMU Weep Screed
1 1/2" = 1'-0" 0' 6" 2'

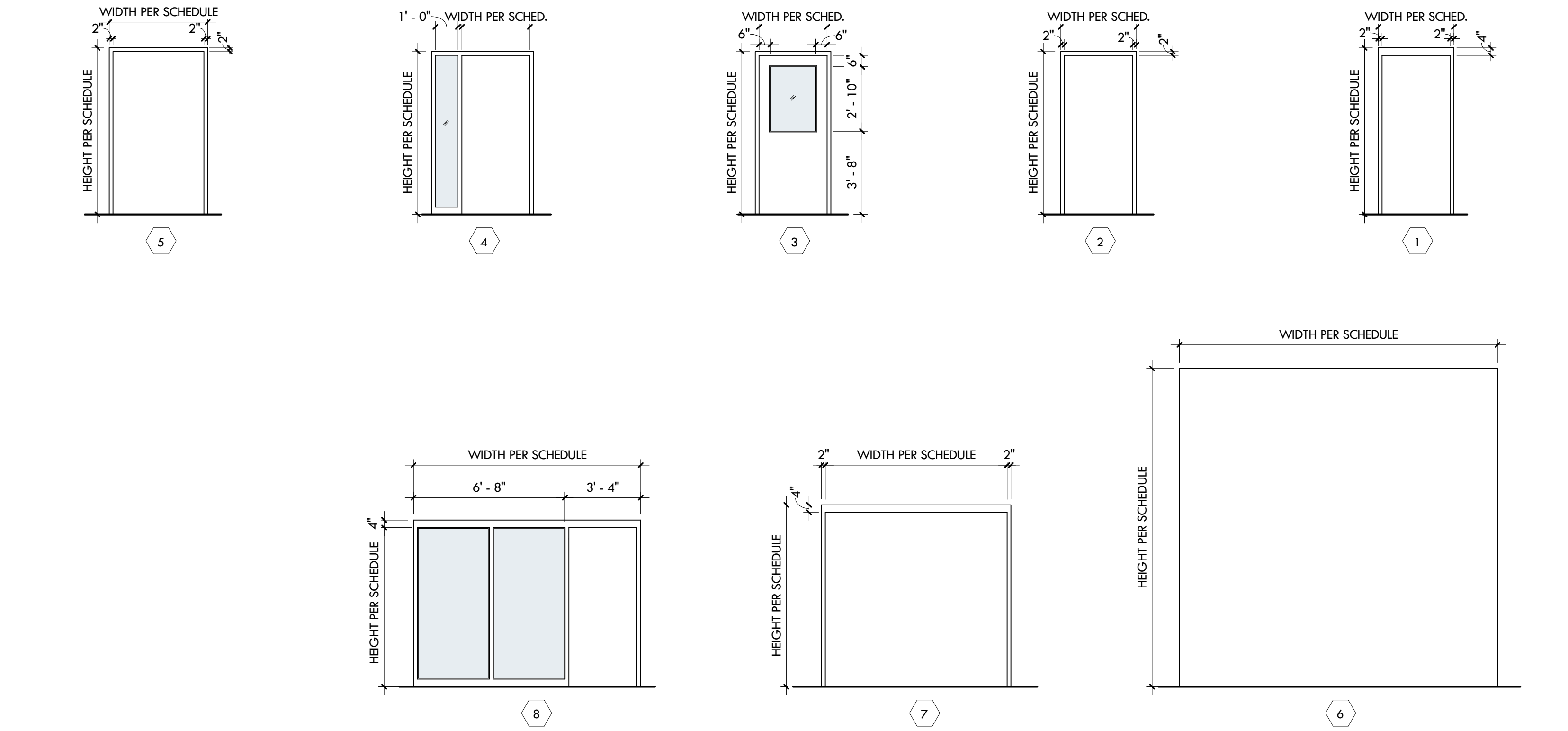
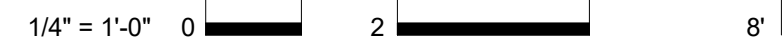
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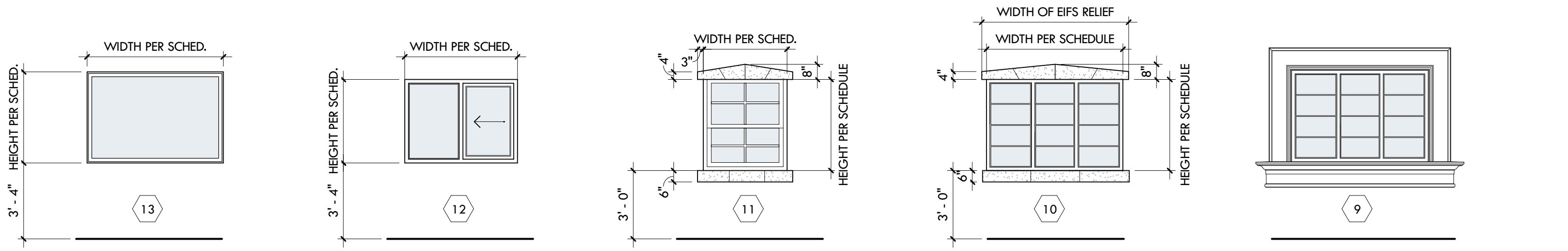
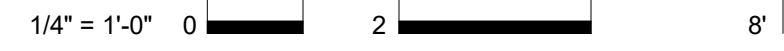
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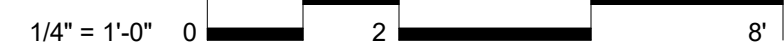
Door Types



Frame Types



Window Types



No.	Door Type	Height	Width	Door Material	Glazing Material	Frame Type	Frame Material	Details in Sheet A8.2			Hardware	Rating - Fire	Remarks
								Head	Jamb	Sill			
101A	A	7'-0"	3'-0"	GL	-	8	AL	6/A8.3	9/A8.3	8/A3.8	01	-	
102A	A	7'-0"	3'-0"	WD	GL	4	AL	6	5	-	02	-	
101B	-	3'-8"	5'-0"	-	GL	12	AL	19	-	18	-	-	5
103A	A	7'-0"	3'-0"	WD	GL	4	AL	6	5	-	03	-	
103B	-	4'-0"	6'-0"	-	GL	9	AL	9	10	17	-	-	4
103C	-	4'-0"	6'-0"	-	GL	9	AL	9	10	17	-	-	4
103D	-	4'-0"	6'-0"	-	GL	9	AL	13	10	17	-	-	4
104A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	04	-	
105A	A	7'-0"	3'-0"	WD	GL	4	AL	6	5	-	05	-	
105B	-	4'-0"	6'-0"	-	GL	9	AL	9	10	17	-	-	4
106A	A	7'-0"	3'-0"	WD	GL	4	AL	6	5	-	05	-	
108A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	06	-	
109A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	06	-	
112A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	07	-	
112B	B	7'-0"	3'-4"	HM	-	2	HM	3	7	-	08	-	
113A	A	7'-0"	3'-0"	HM	-	2	HM	3	7	-	-	-	
113B	D	8'-0"	9'-0"	STL	-	7	STL	5/A8.3	-	-	14	-	
113C	-	4'-0"	6'-0"	-	GL	10	HM	8	13	16	-	-	4
114A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	05	-	
114B	-	4'-0"	6'-0"	-	GL	13	HM	8	13	16	-	-	4
115A	B	7'-0"	3'-4"	WD	-	1	AL	6	11	-	10	-	
115B	L	7'-0"	3'-4"	HM	-	3	HM	3	2	-	11	-	
116A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	06	-	
117A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	06	-	
118A	A	7'-0"	3'-0"	WD	GL	4	AL	6	5	-	07	-	
118B	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	07	-	
118C	B	7'-0"	3'-4"	HM	-	2	HM	1	2	-	08	-	
119A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	03	-	
119B	-	4'-0"	3'-8"	-	GL	11	AL	8	13	16	-	-	3
120A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	03	-	
120B	-	4'-0"	3'-8"	-	GL	11	AL	8	13	16	-	-	3
121A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	03	-	
121B	-	4'-0"	3'-8"	-	GL	11	AL	8	13	16	-	-	3
122A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	03	-	
122B	-	4'-0"	3'-8"	-	GL	11	AL	8	13	16	-	-	3
123A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	12	-	
124A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	03	-	
124B	-	4'-0"	3'-8"	-	GL	11	AL	8	13	16	-	-	3
125A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	04	-	
126A	A	7'-0"	3'-0"	WD	-	2	AL	6	11	-	04	-	
127A	B	7'-0"	3'-4"	HM	-	1	HM	1	2	-	16	-	
127B	E	14'-0"	14'-0"	STL	GL	6	STL	-	1/A8.3	-	14	-	
127C	E	14'-0"	14'-0"	STL	GL	6	STL	-	1/A8.3	-	14	-	
127D	E	14'-0"	14'-0"	HM	-	6	HM	-	1/A8.3	-	14	-	
127E	B	7'-0"	3'-4"	HM	-	1	HM	1	2	-	08	-	
127F	B	7'-0"	3'-4"	HM	-	1	HM	1	2	-	08	-	
127G	E	14'-0"	14'-0"	STL	GL	6	STL	-	1/A8.3	-	15	-	
127H	E	14'-0"	14'-0"	STL	GL	6	STL	-	1/A8.3	-	15	-	
127I	E	14'-0"	14'-0"	STL	GL	6	STL	-	1/A8.3	-	15	-	
128A	B	7'-0"	3'-4"	HM	-	1	HM	3	2	-	04	-	
129A	C	7'-0"	4'-0"	HM	-	5	HM	4	7	-	13	-	
130A	B	7'-0"	3'-4"	HM	-	1	HM	3	2	-	04	-	
131A	B	7'-0"	3'-4"	HM	-	1	HM	1	2	-	-	-	

Door / Window Legend

- AL ALUMINUM
 - GL TEMPERED SAFETY GLASS
 - WD SOLID CORE WOOD
 - HM HOLLOW METAL
 - STL STEEL
- NOTE:** INSTALL HORIZONTAL LOUVER BLINDS AT ALL WINDOWS UNLESS OTHERWISE NOTED.

Notes

1. PAIR OF DOORS
2. 12" HT. NUMBER ON THE INTERIOR SIDE OF THE OVERHEAD DOOR, REFER TO SIGNAGE SCHEDULE ON SHEET A9.1
3. OPERABLE WINDOW
4. FIXED WINDOW
5. SLIDING WINDOW

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 Architects
 Planners

1735 e ft. lowell rd. #12
 Tucson arizona 85719
 520.882.9944

Tubac Fire Station #1
 2227 I-19 Frontage Rd., Tubac, AZ 85646
 95% Construction Documents

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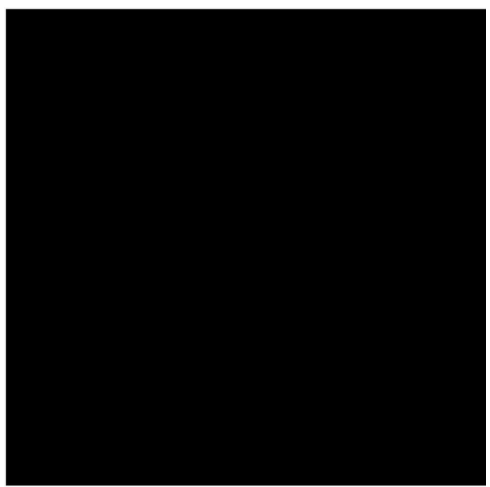
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Opening Schedule

A8.1



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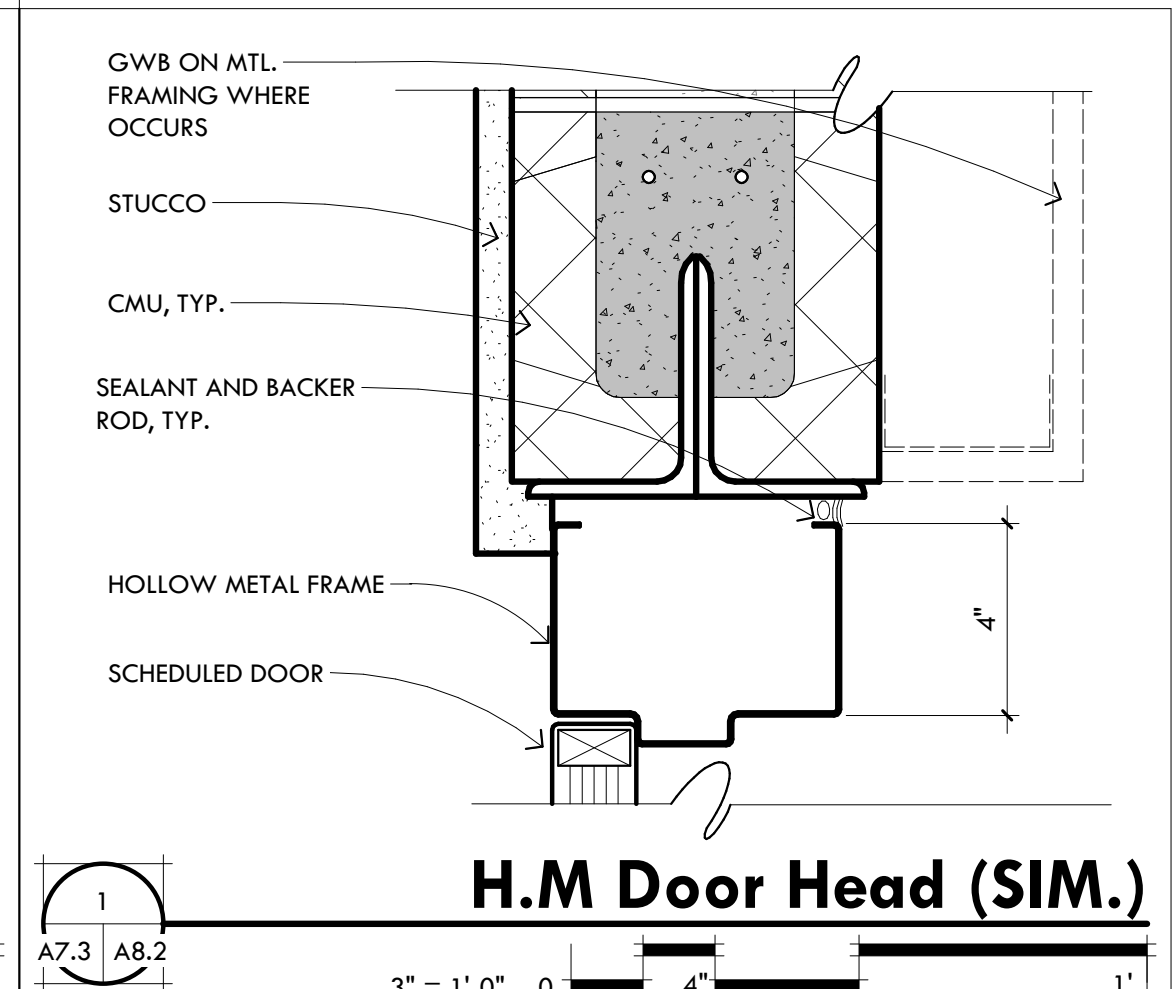
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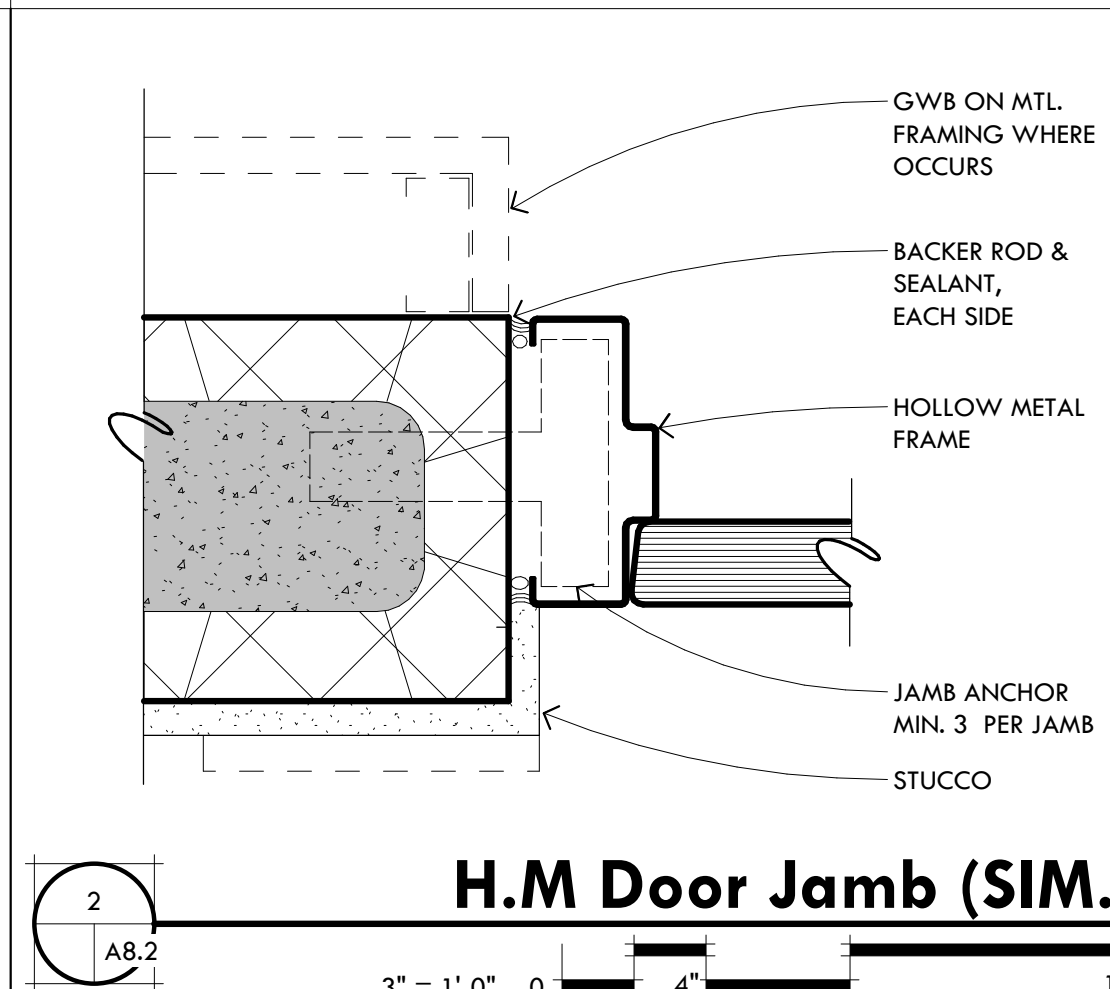
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Window & Door Details

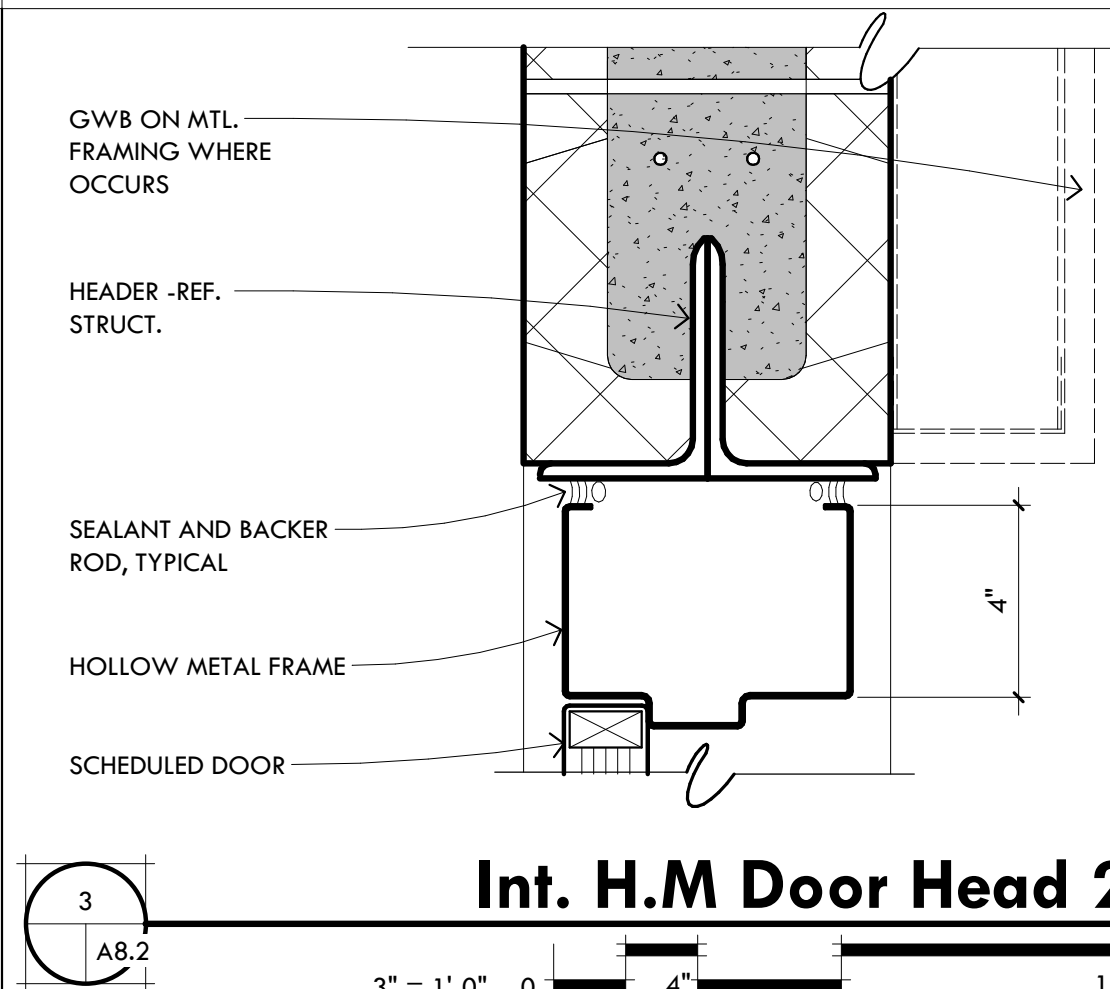
A8.2



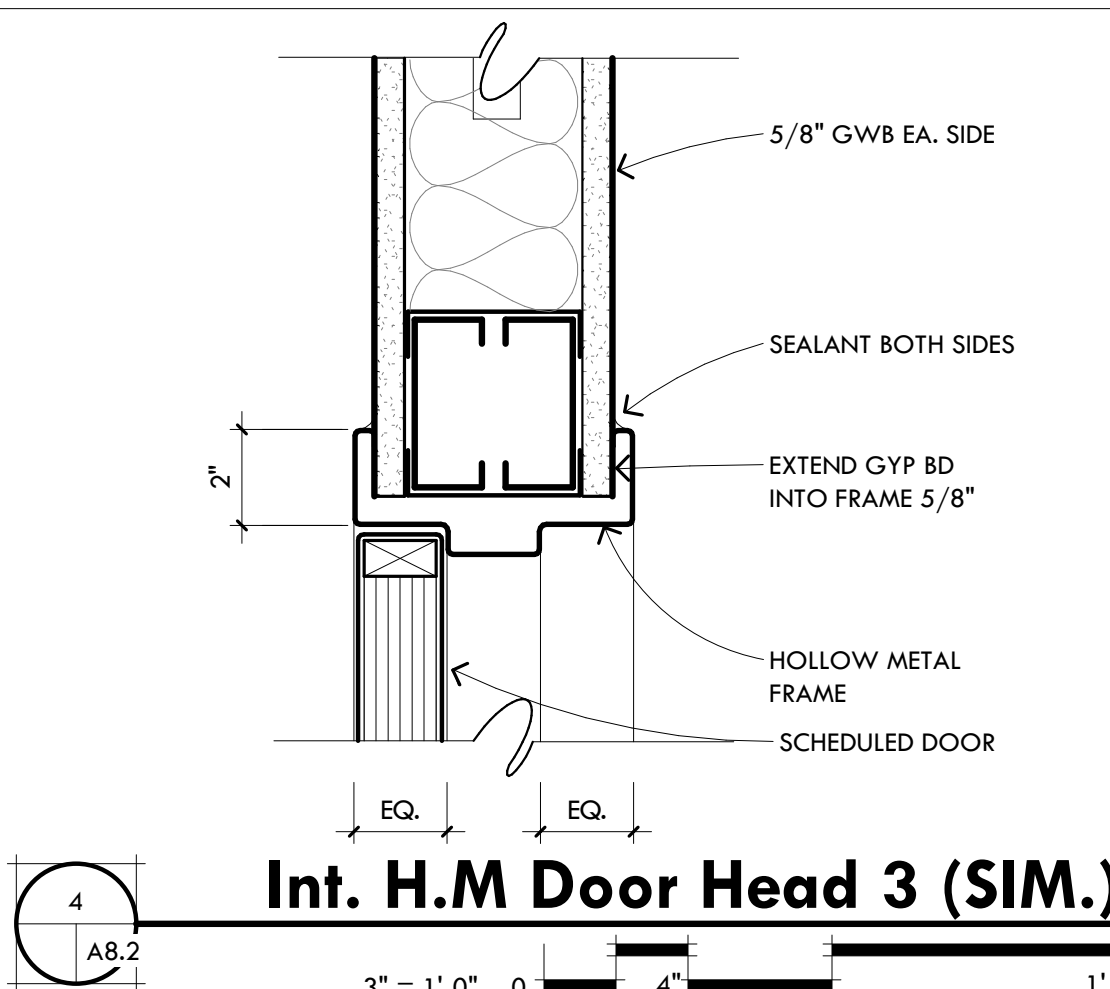
1 H.M Door Head (SIM.)



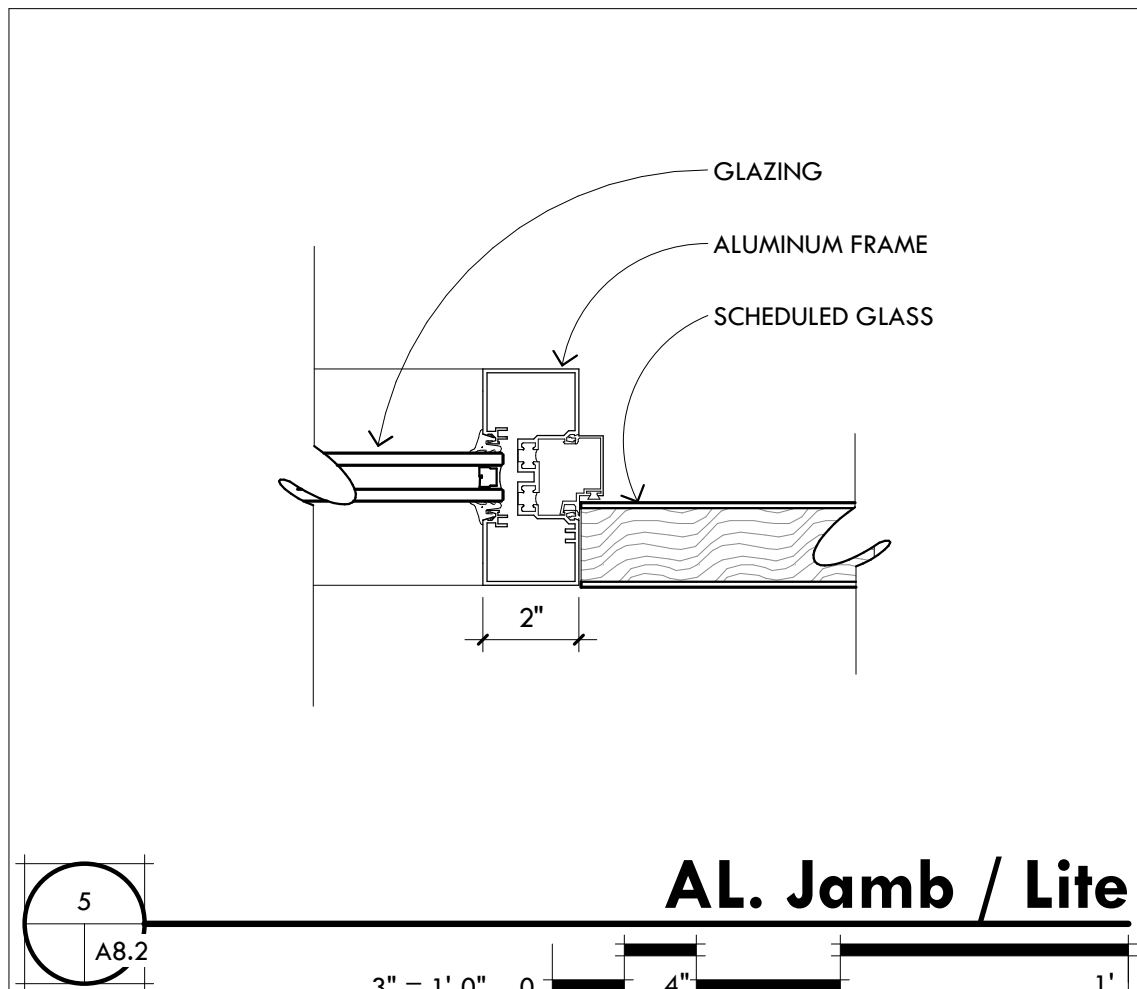
2 H.M Door Jamb (SIM.)



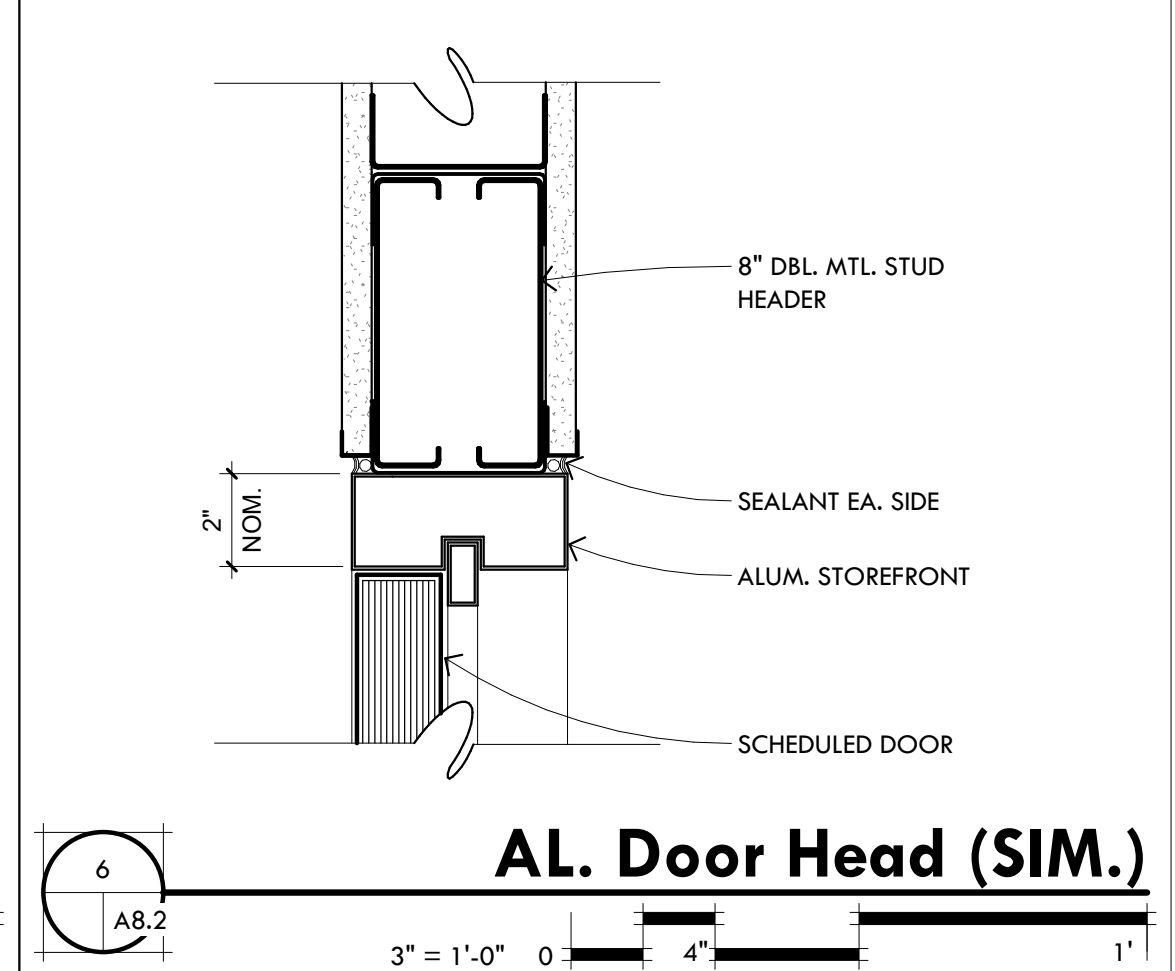
3 Int. H.M Door Head 2



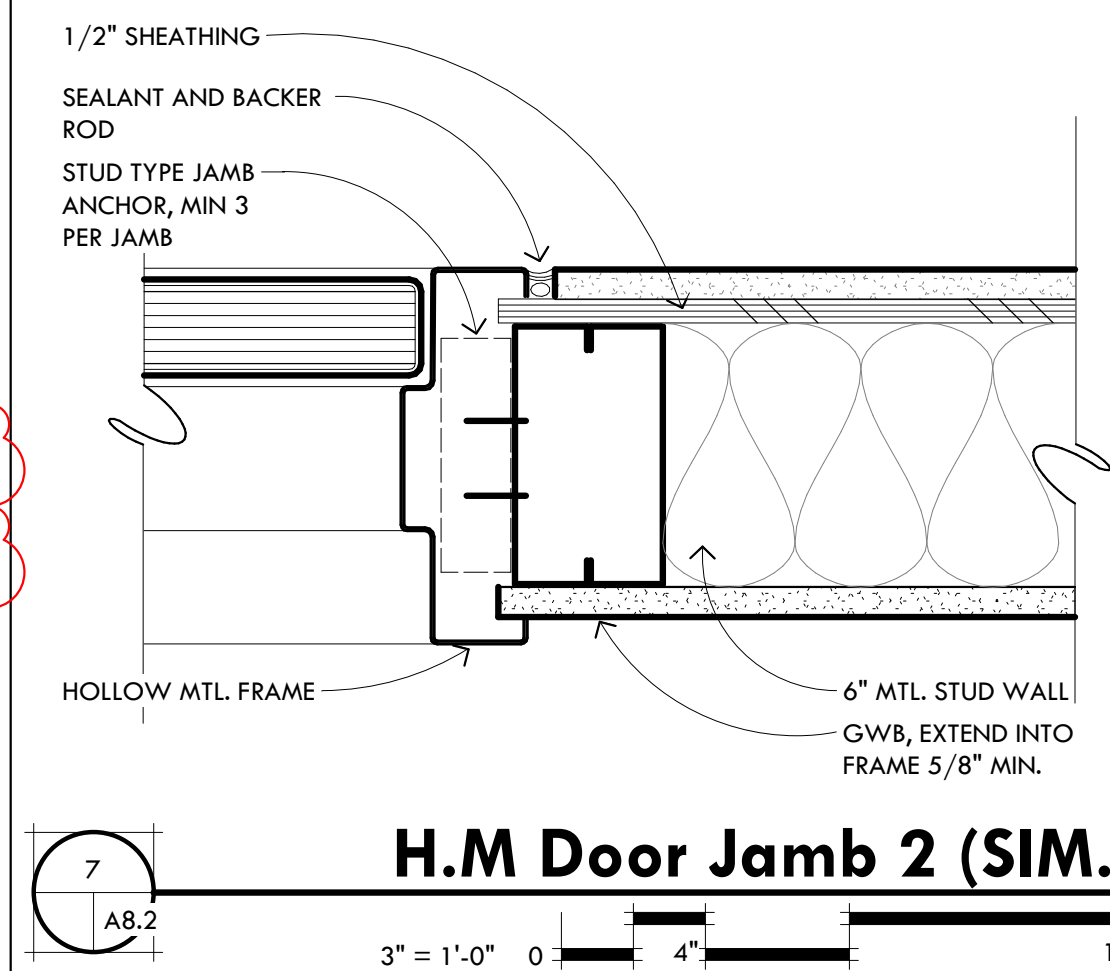
4 Int. H.M Door Head 3 (SIM.)



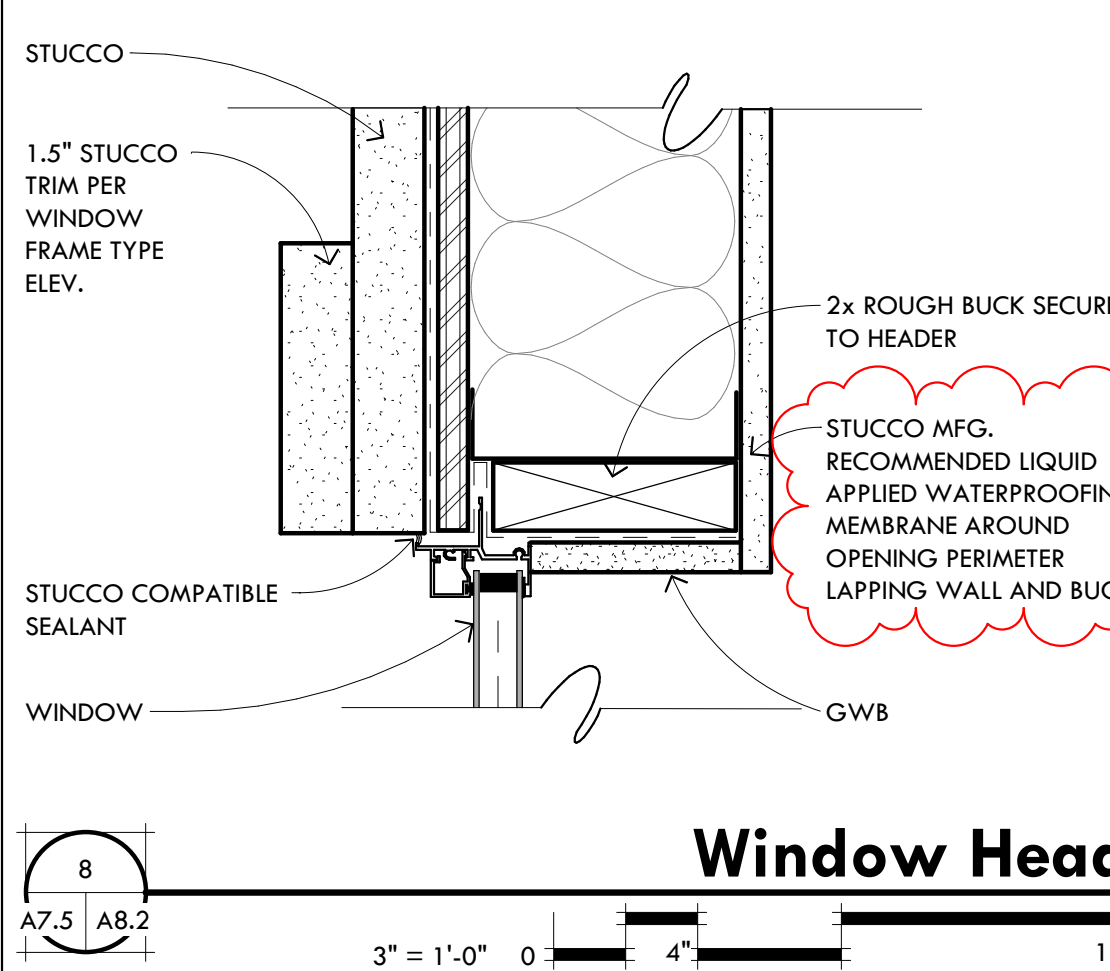
5 AL. Jamb / Lite



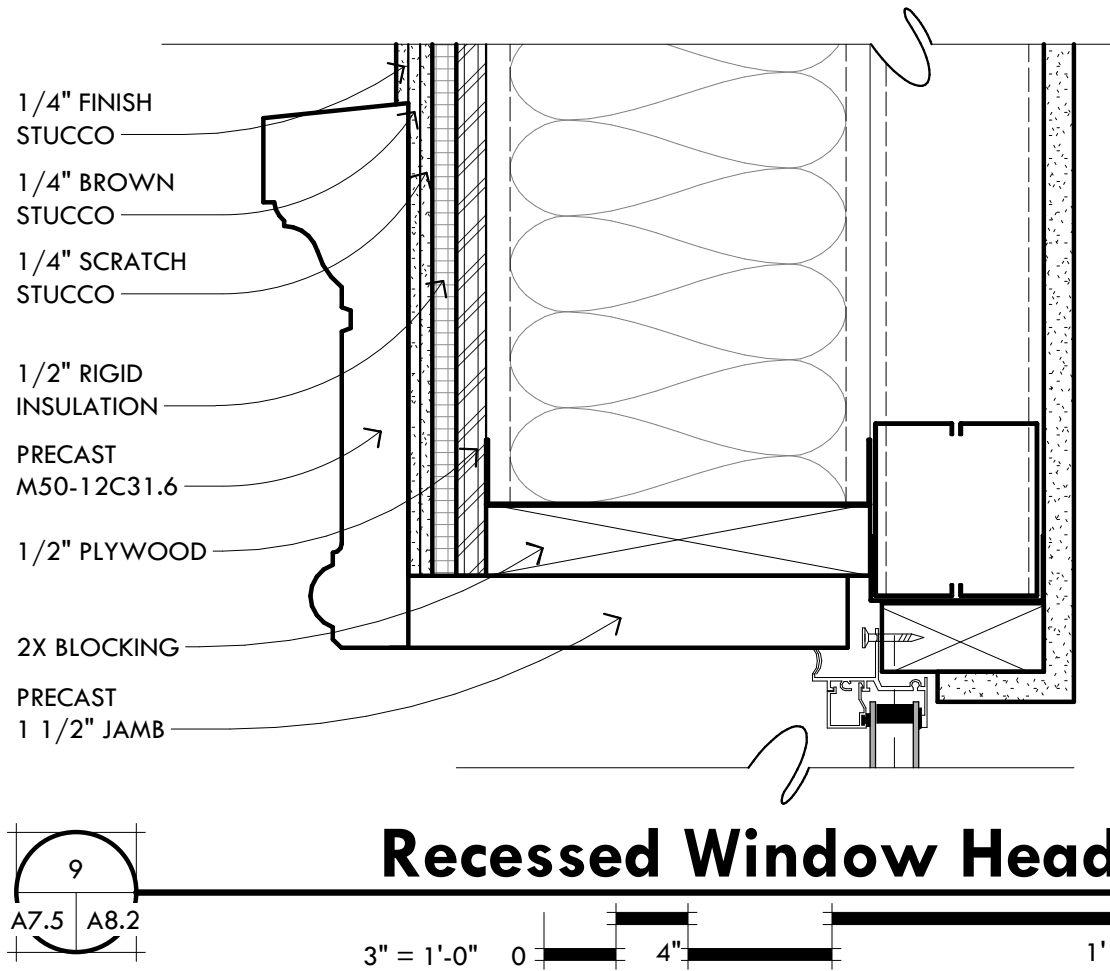
6 AL. Door Head (SIM.)



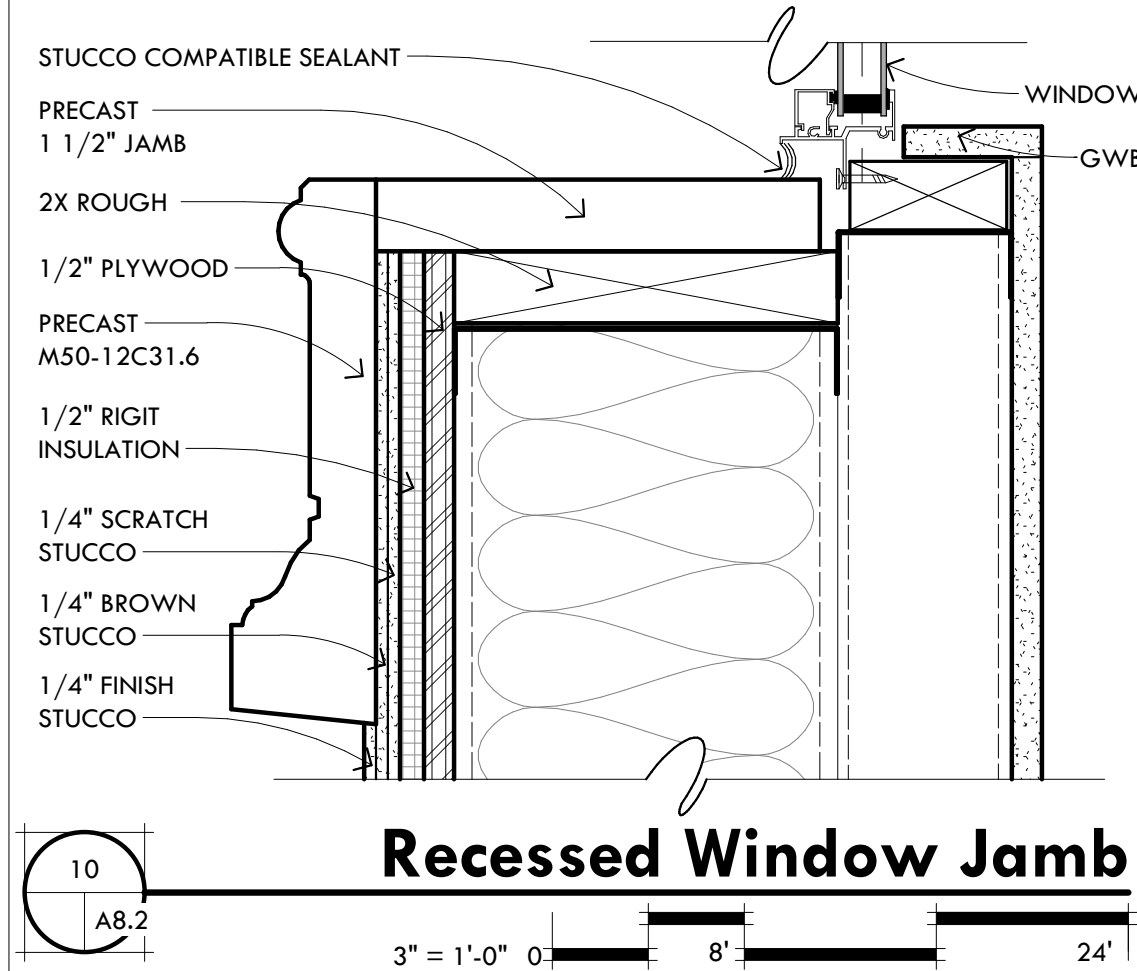
7 H.M Door Jamb 2 (SIM.)



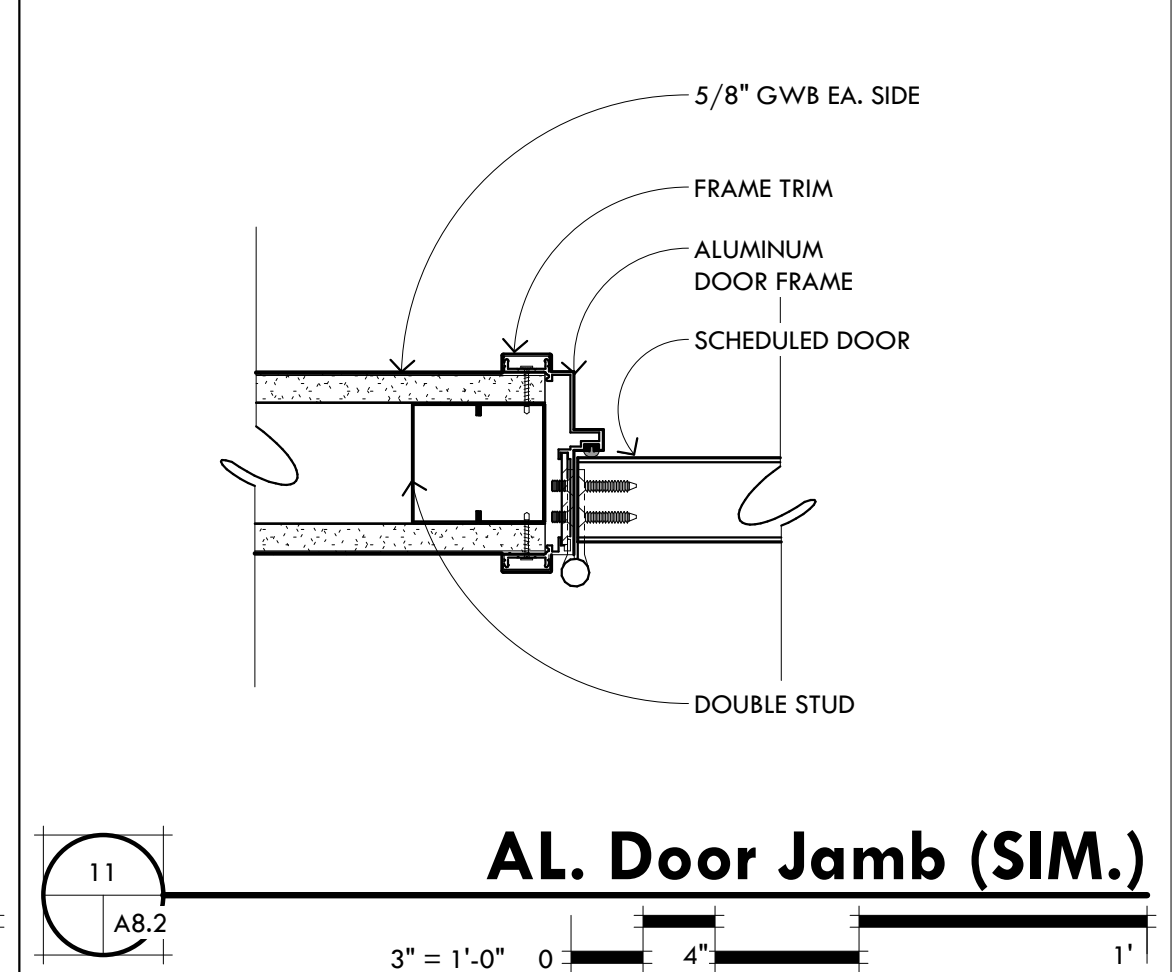
8 Window Head



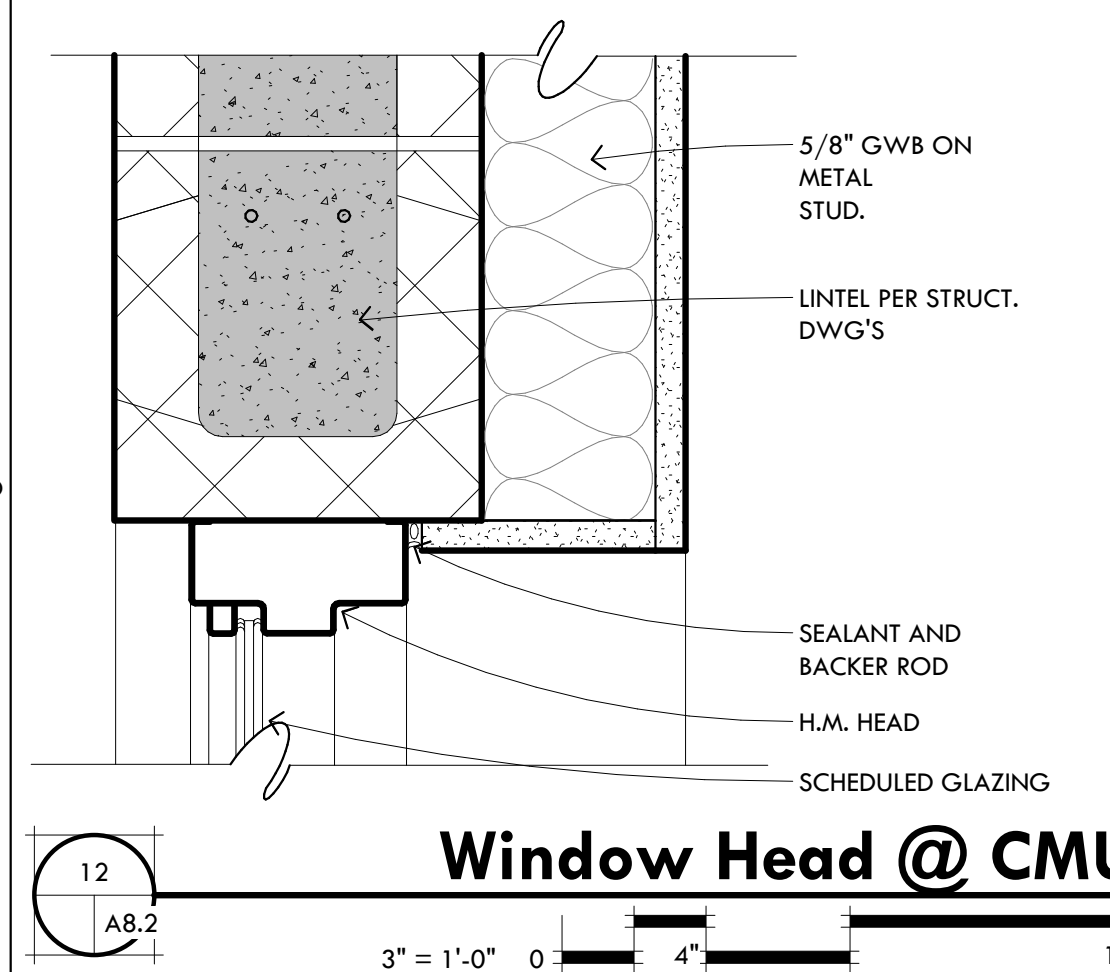
9 Recessed Window Head



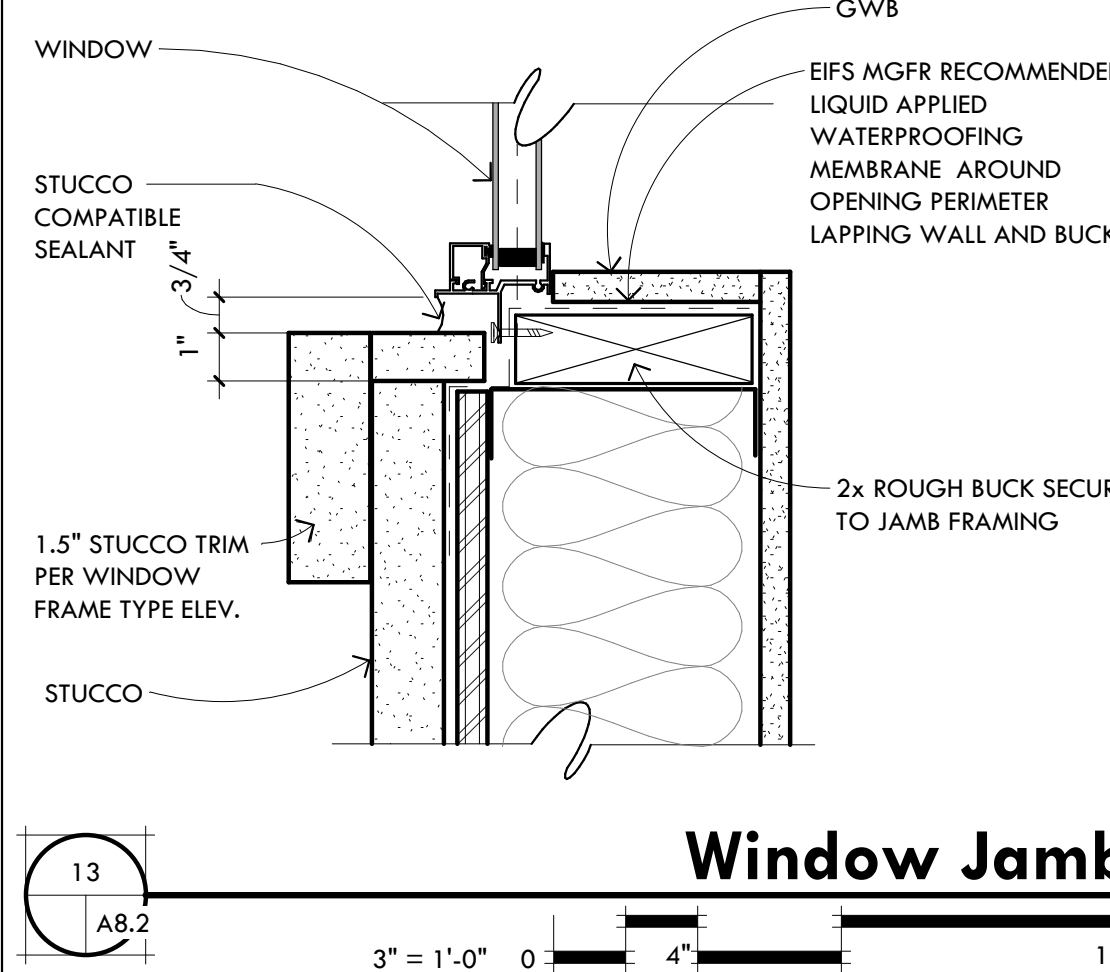
10 Recessed Window Jamb



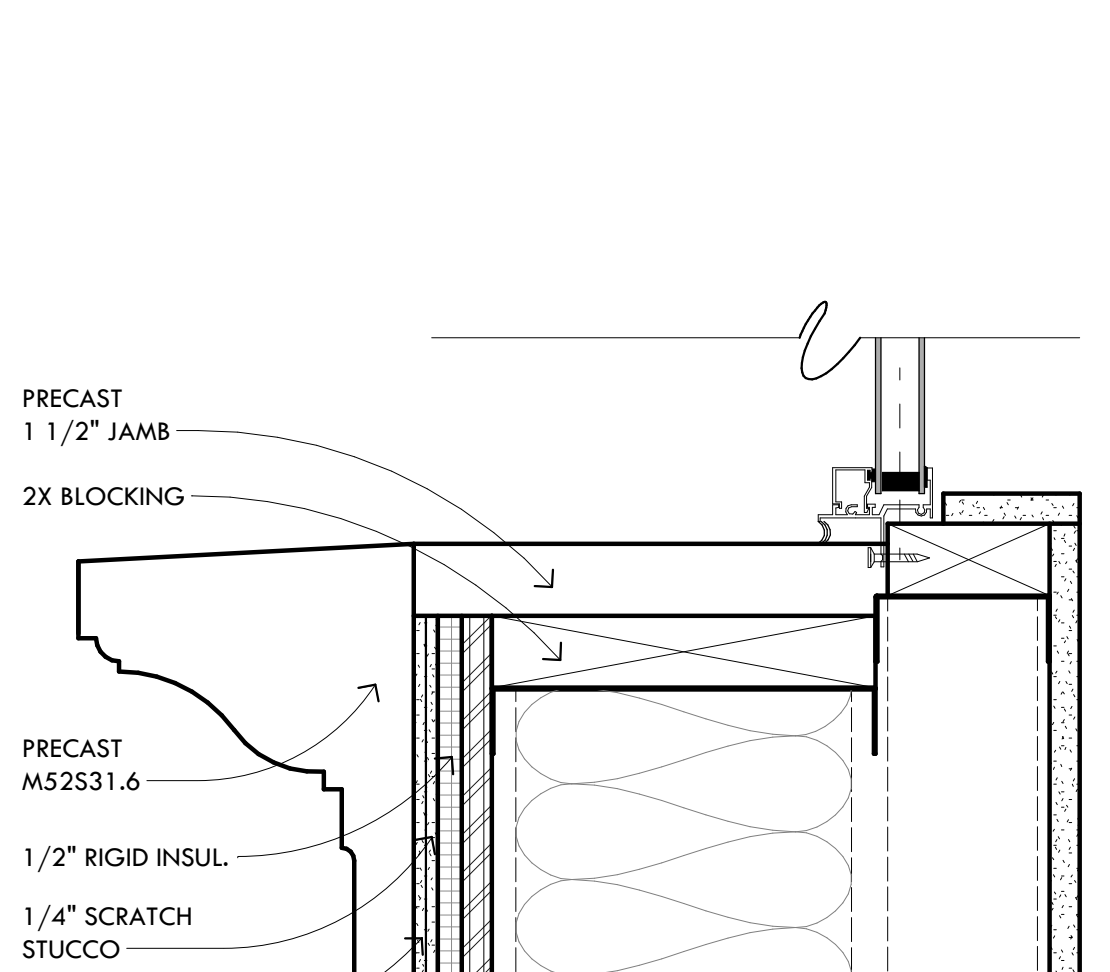
11 AL. Door Jamb (SIM.)



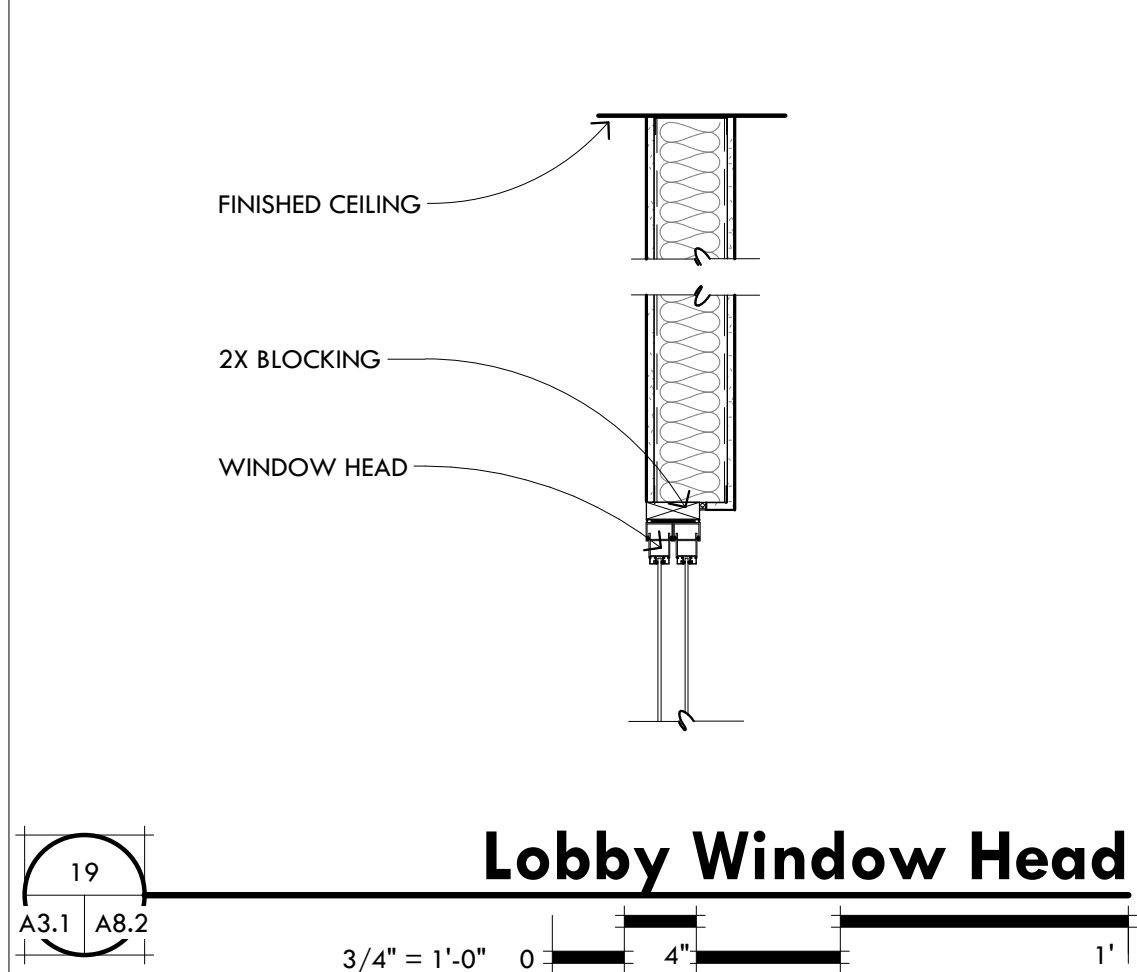
12 Window Head @ CMU



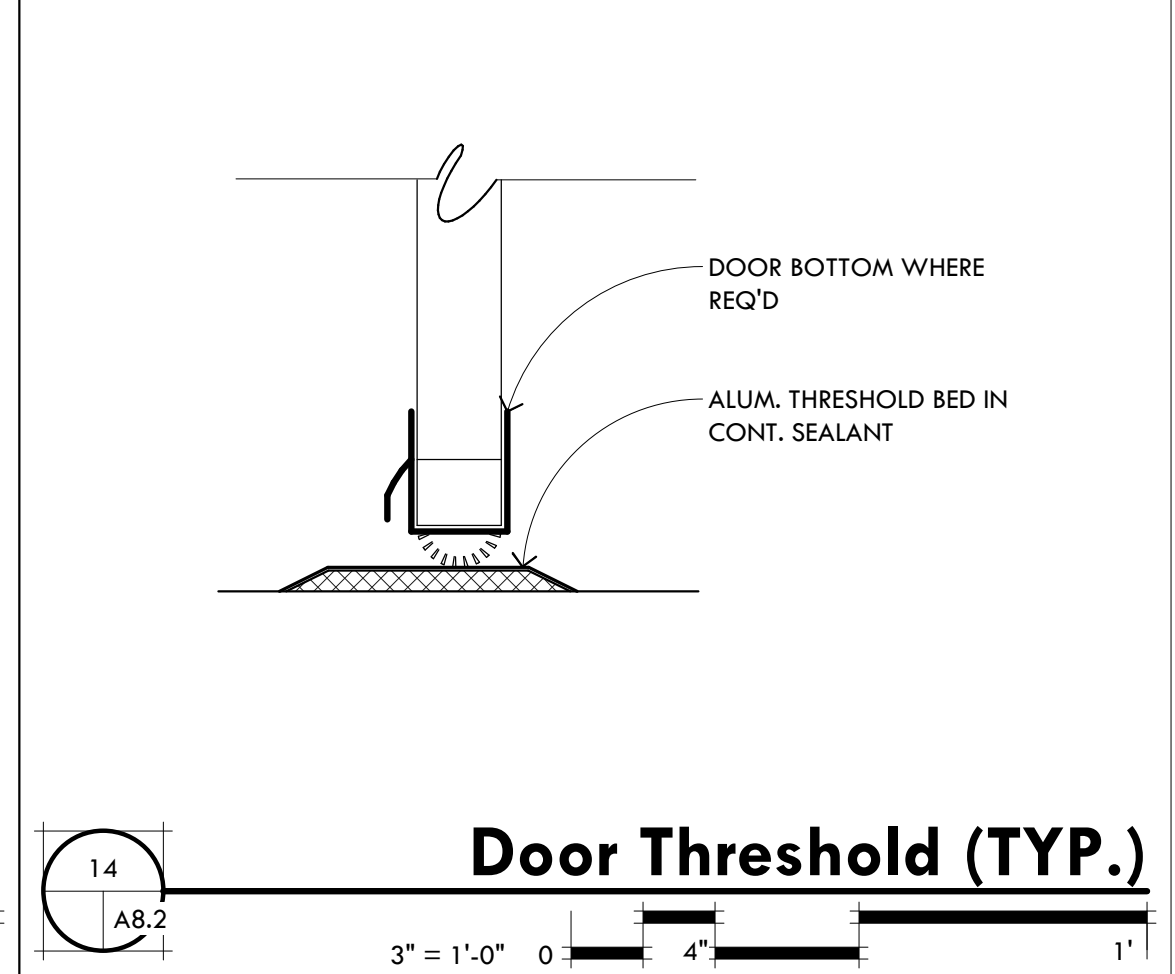
13 Window Jamb



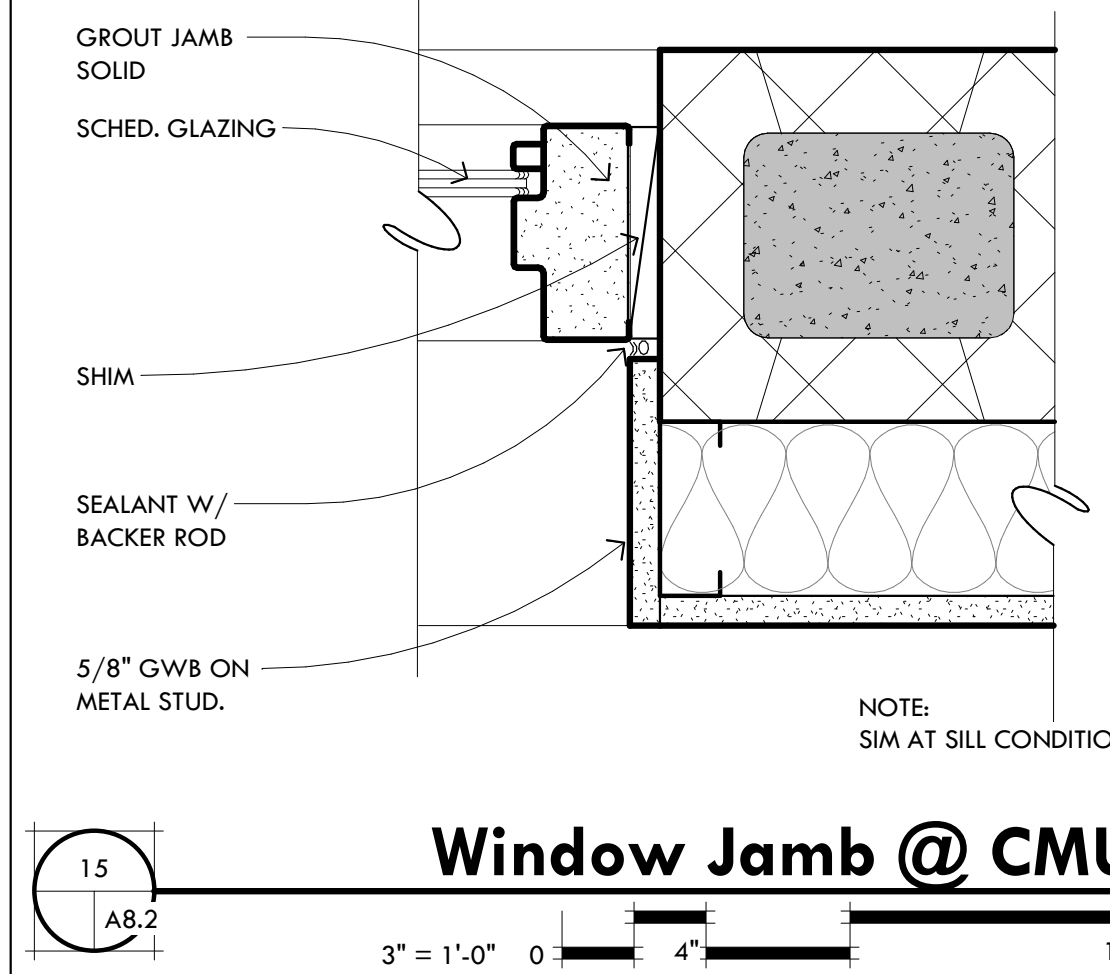
17 Recessed Window Sill



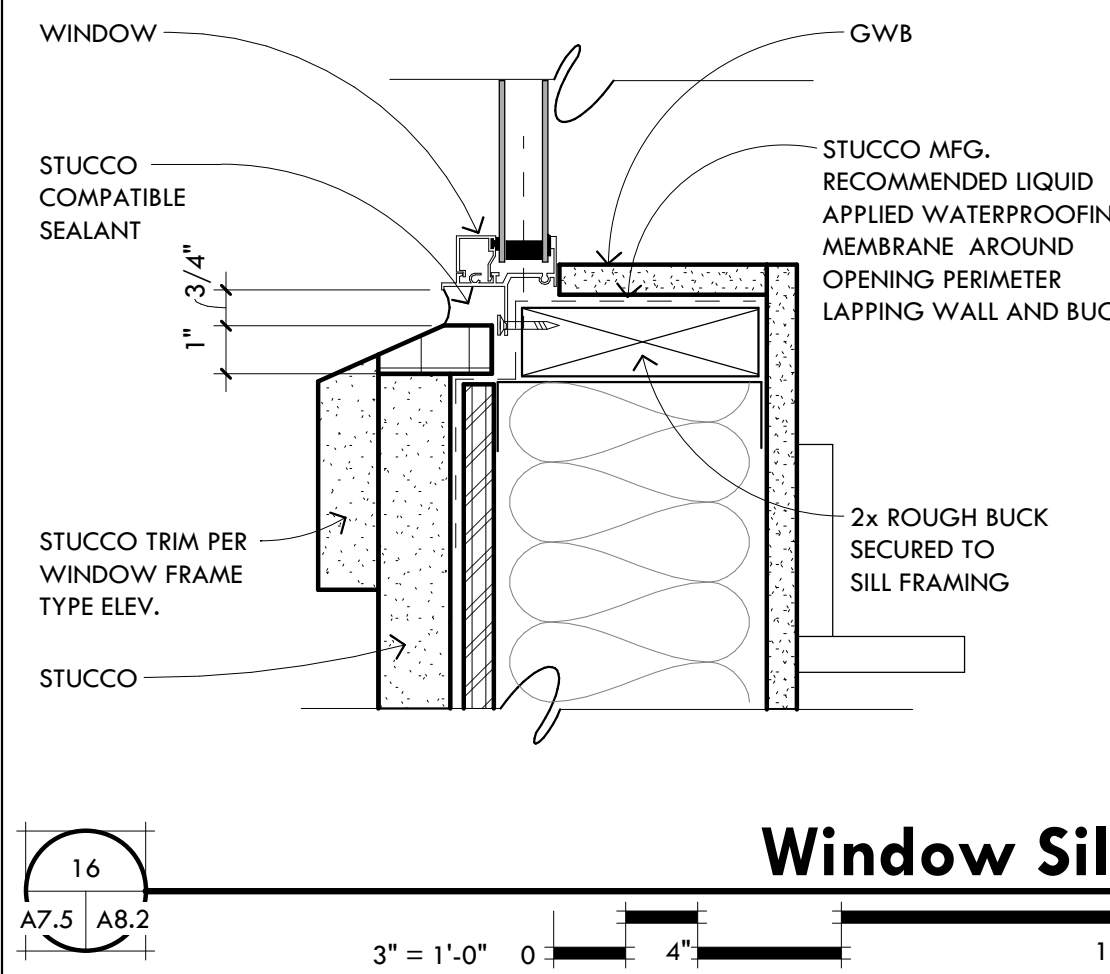
19 Lobby Window Head



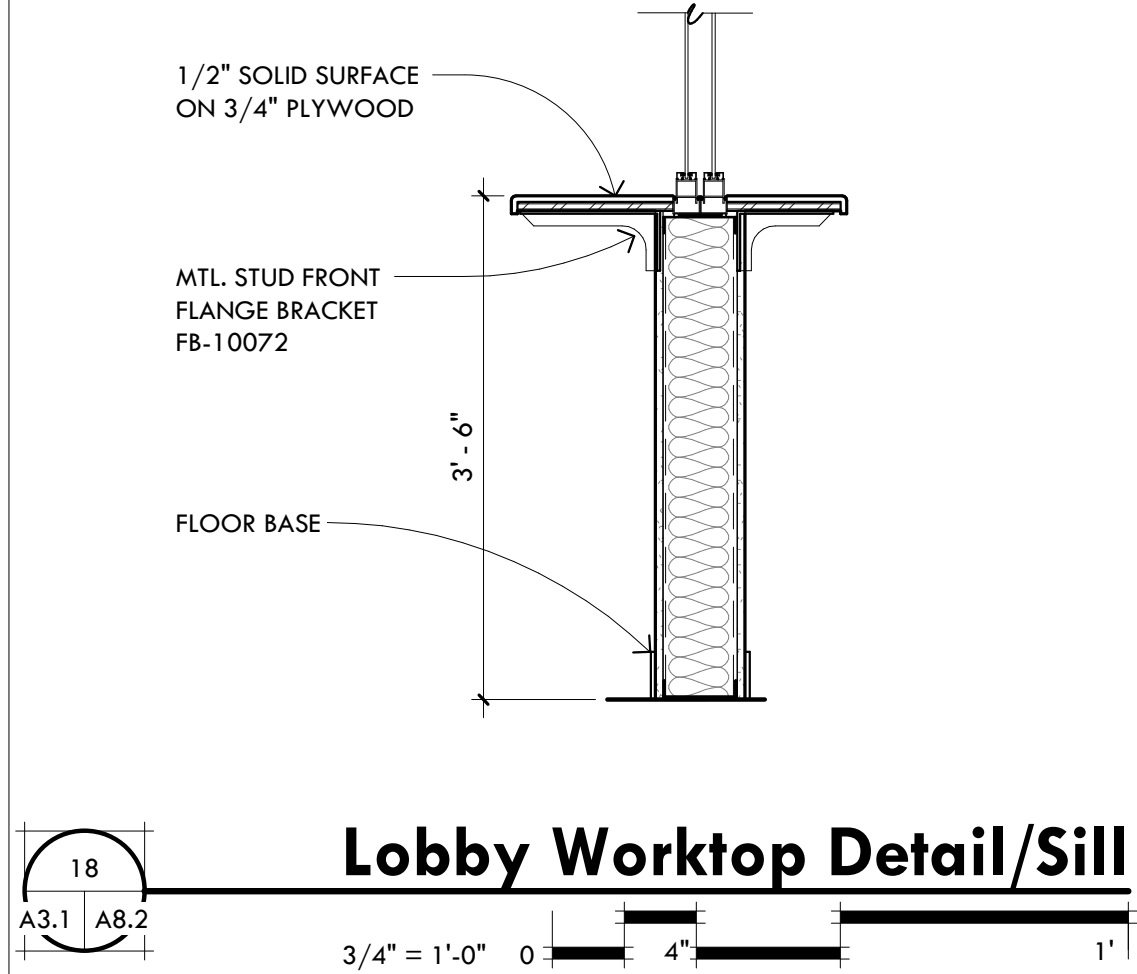
14 Door Threshold (TYP.)



15 Window Jamb @ CMU

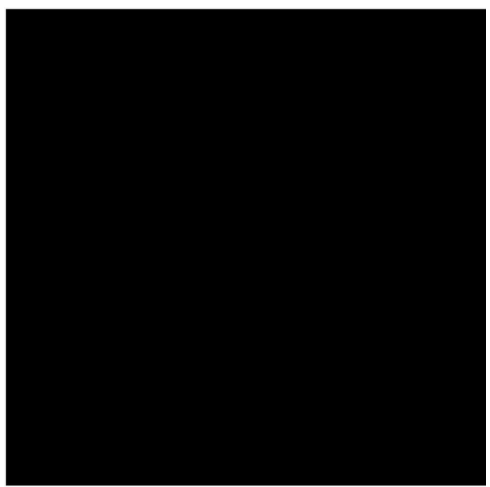


16 Window Sill



18 Lobby Worktop Detail/Sill

PLOT DATE: 11/25/2024 4:46:32 PM



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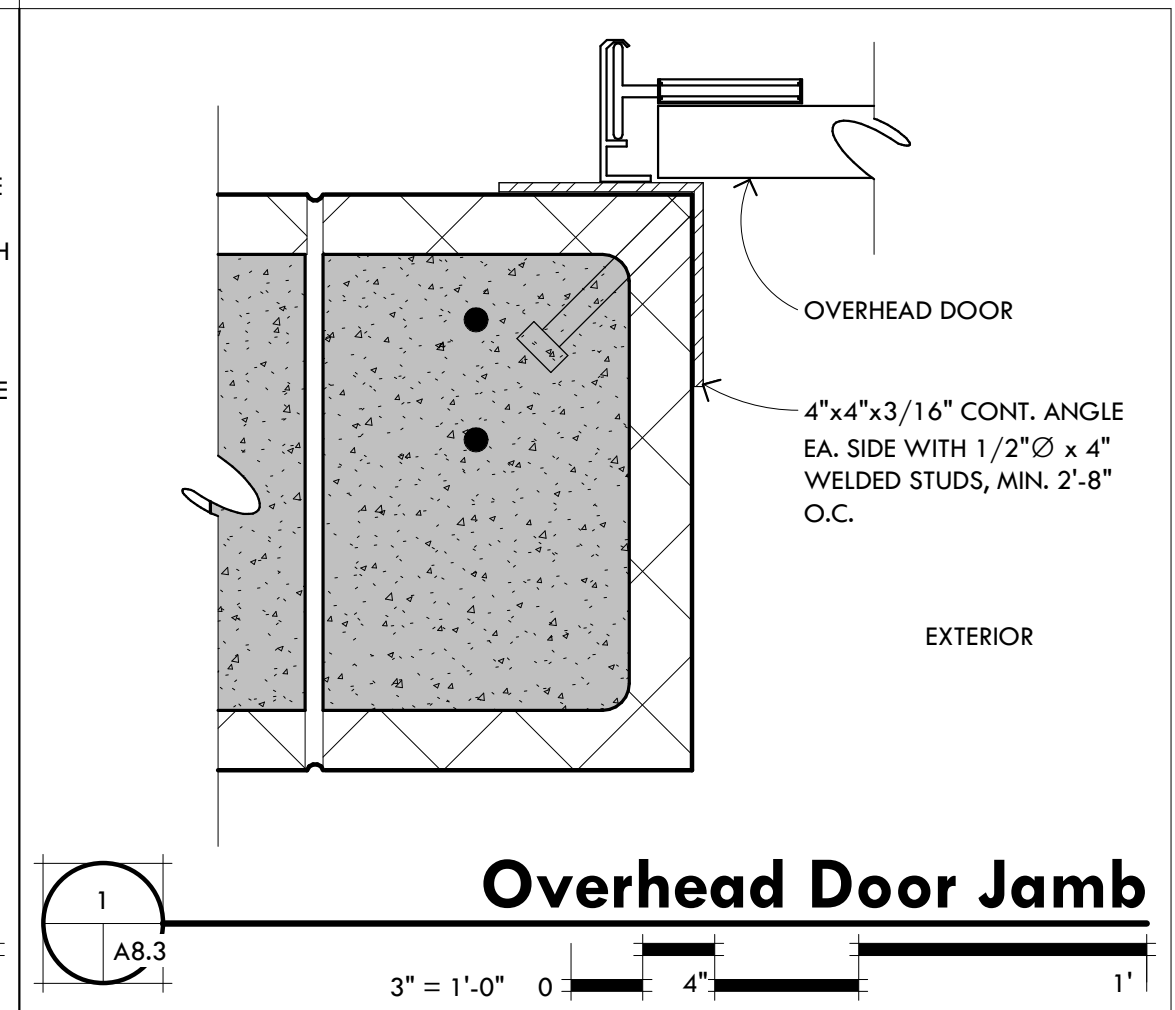
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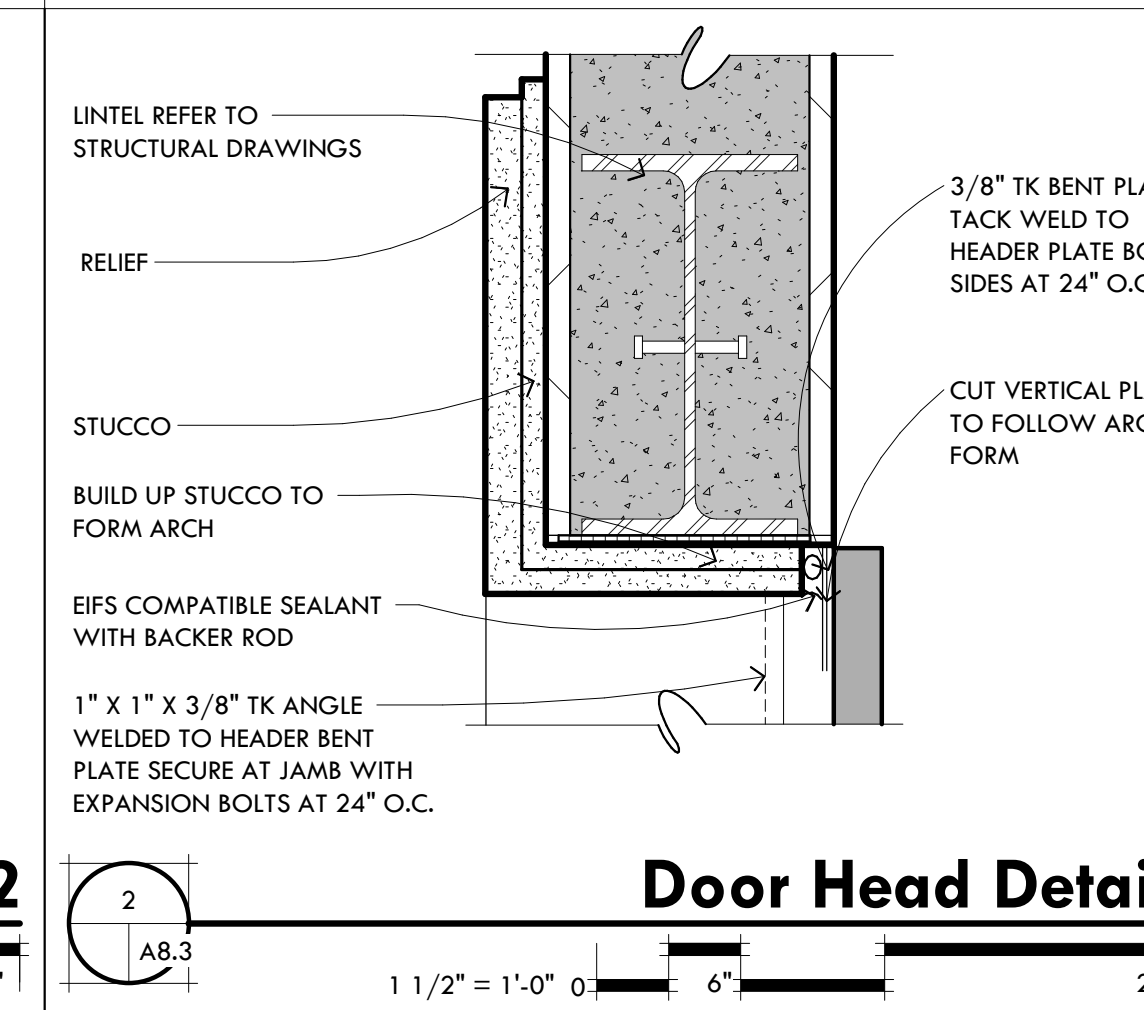
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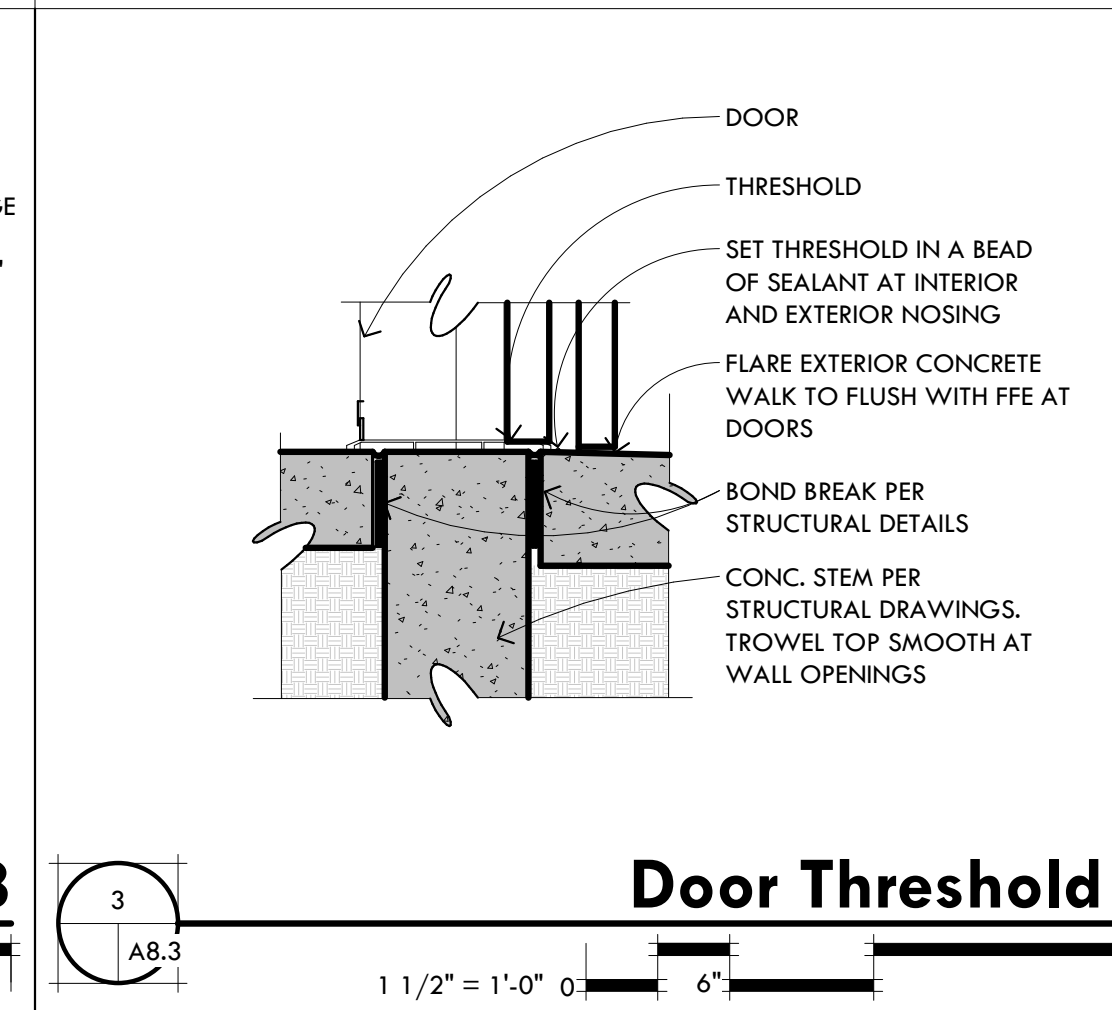
Window & Door
 Details
A8.3



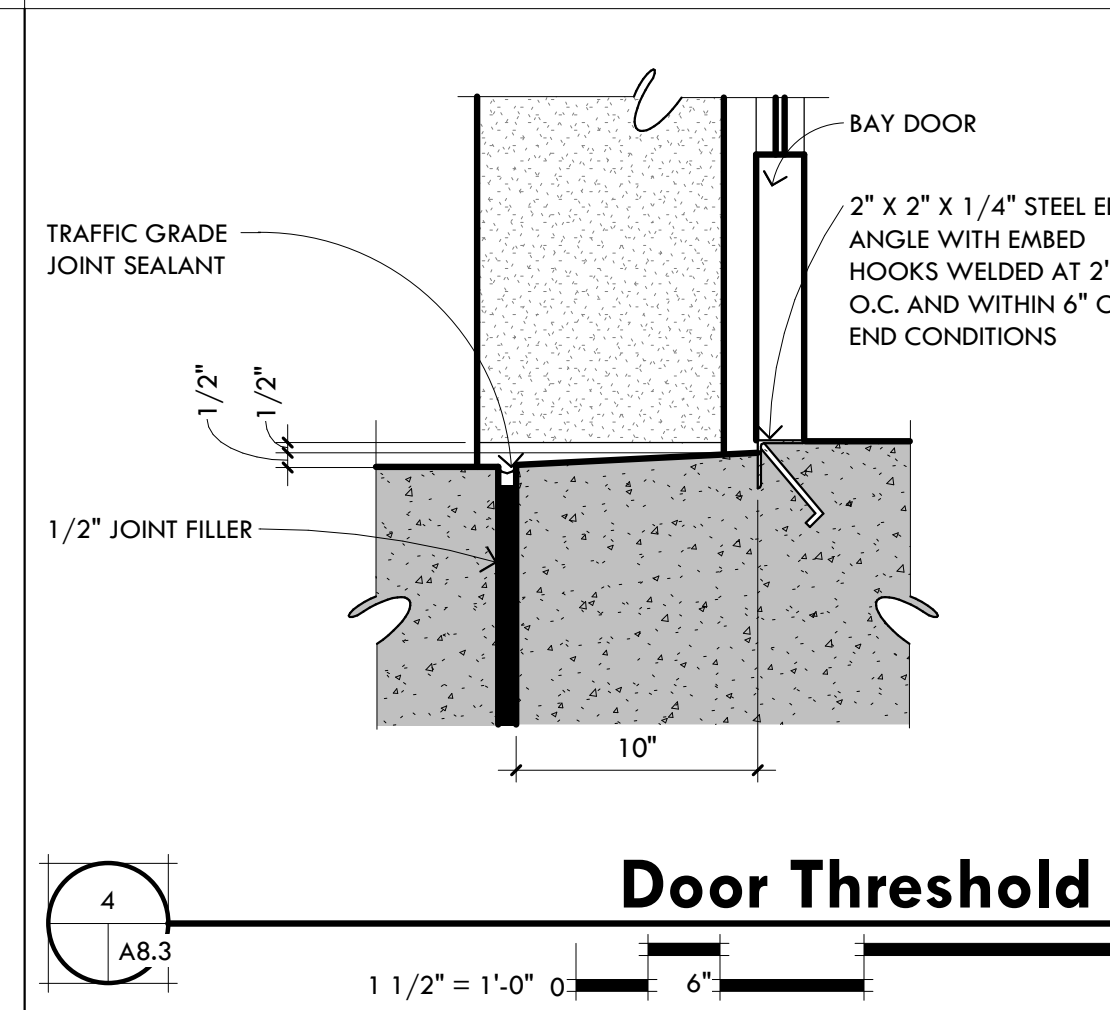
1 Overhead Door Jamb 3" = 1'-0" 0 4" 1'



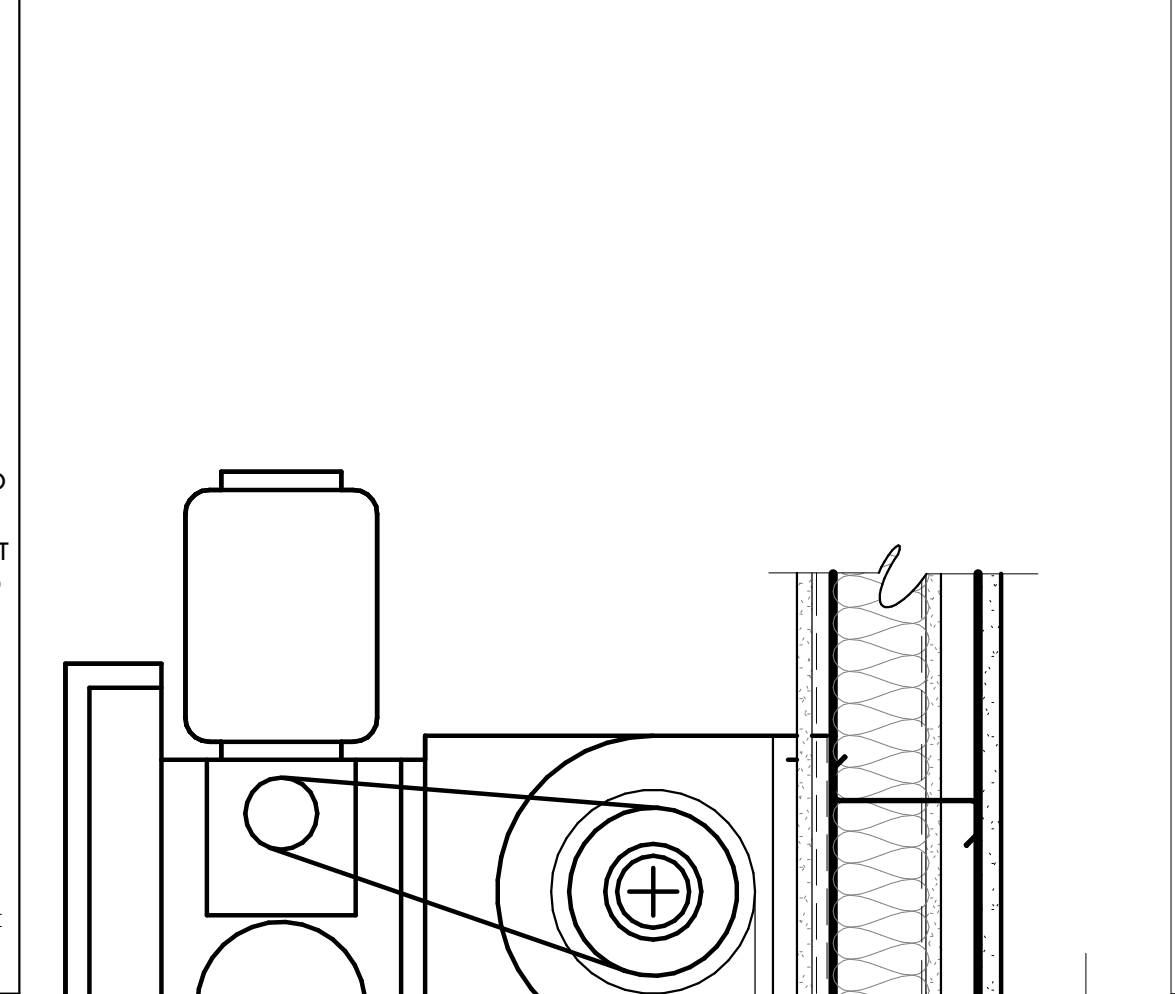
2 Door Head Detail 1 1/2" = 1'-0" 0 6" 2'



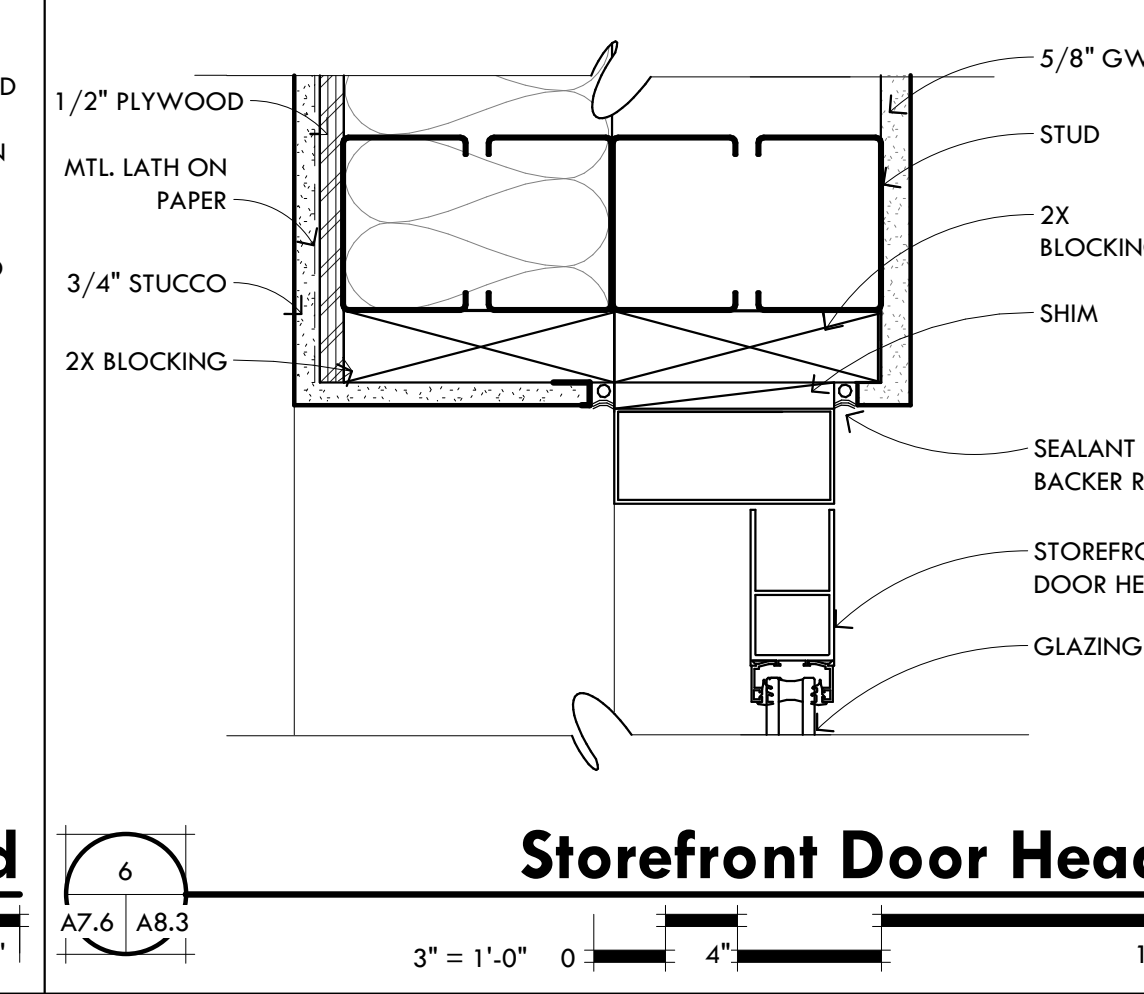
3 Door Threshold 2 1 1/2" = 1'-0" 0 6" 2'



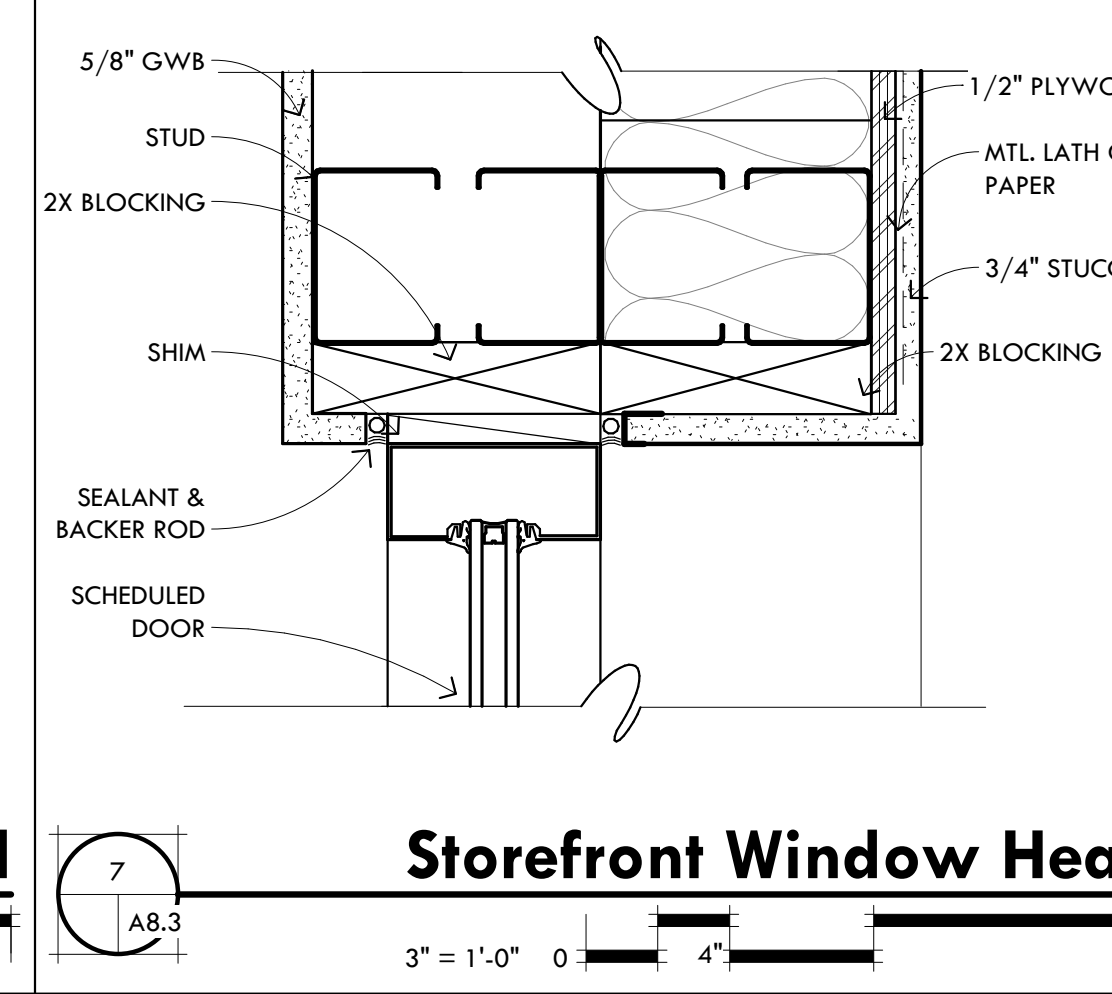
4 Door Threshold 3 1 1/2" = 1'-0" 0 6" 2'



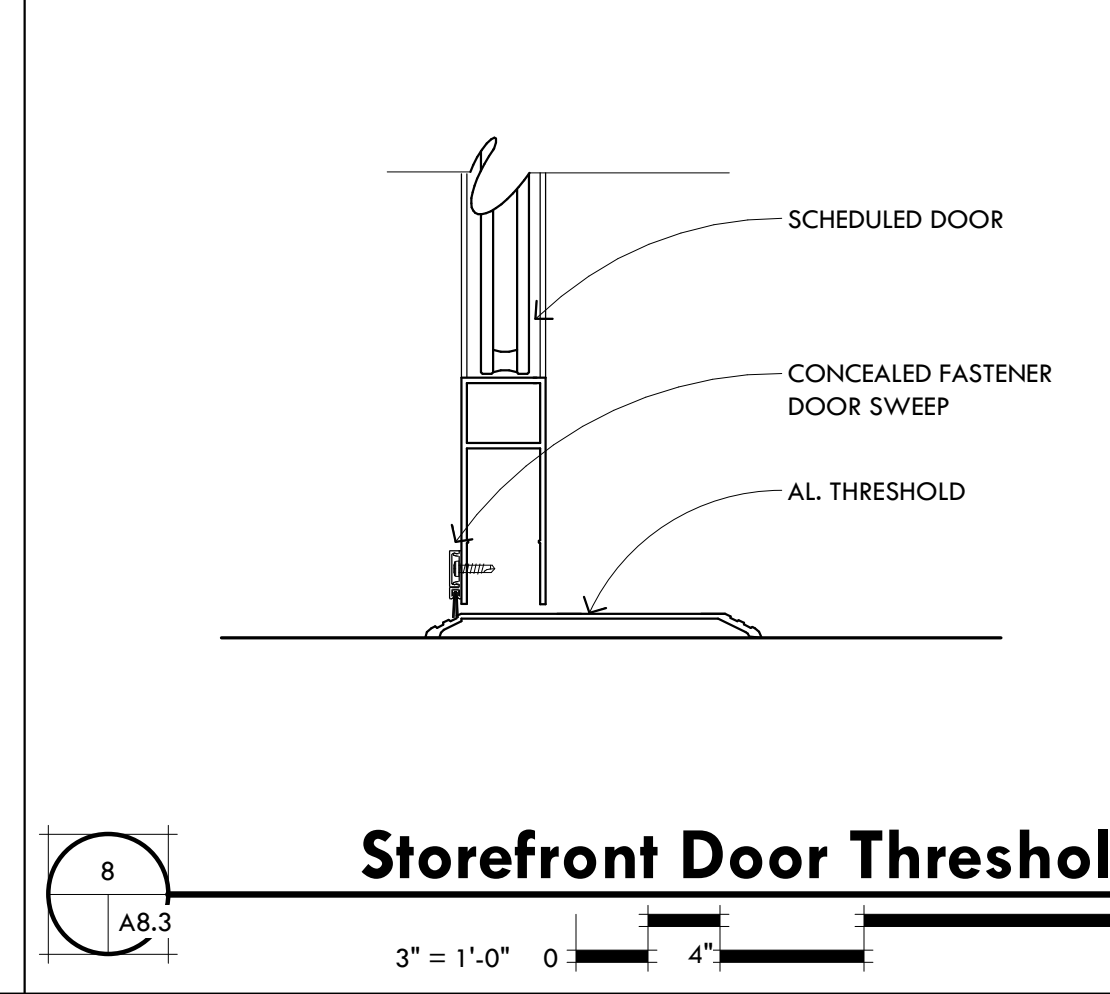
6 Storefront Door Head 3" = 1'-0" 0 4" 1'



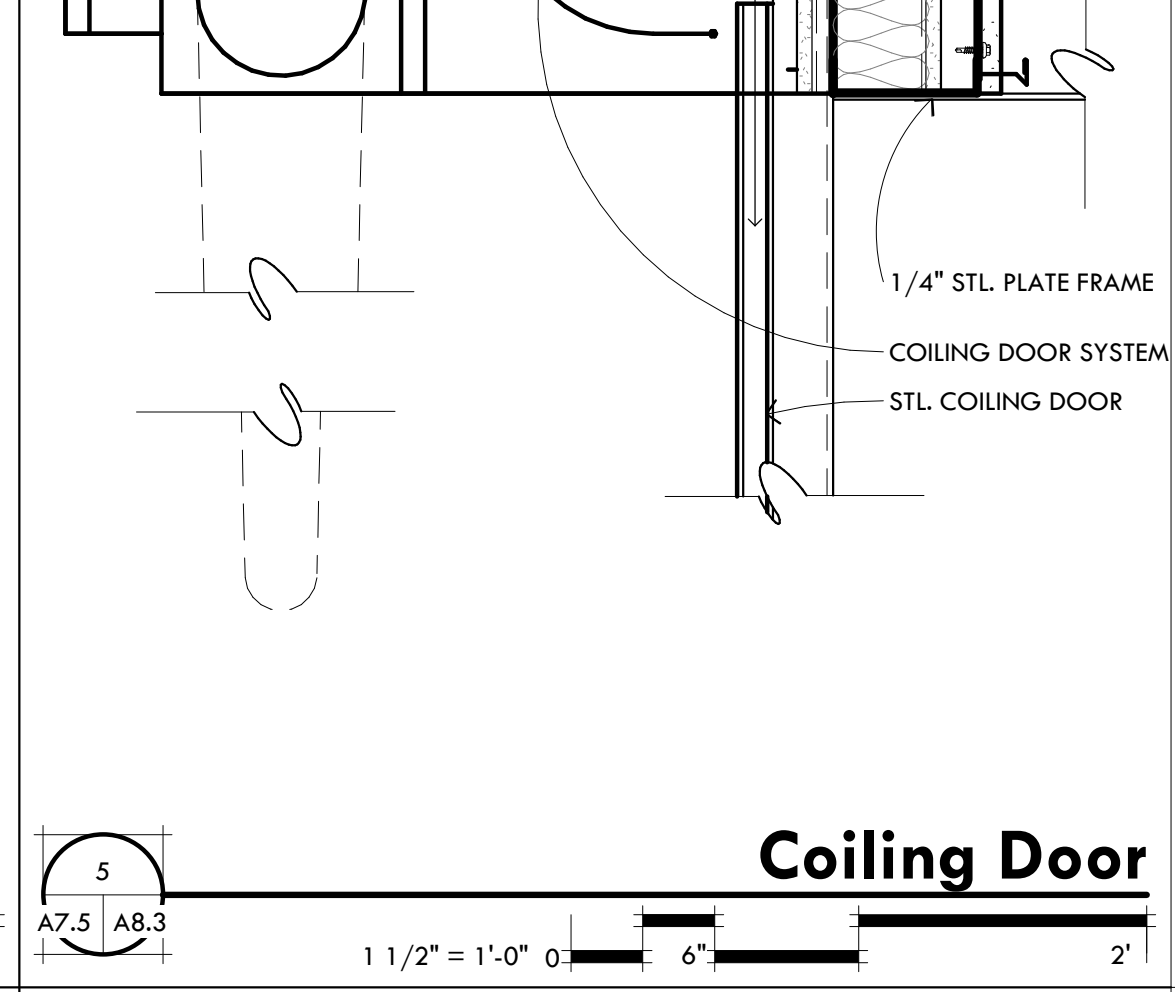
7 Storefront Window Head 3" = 1'-0" 0 4" 1'



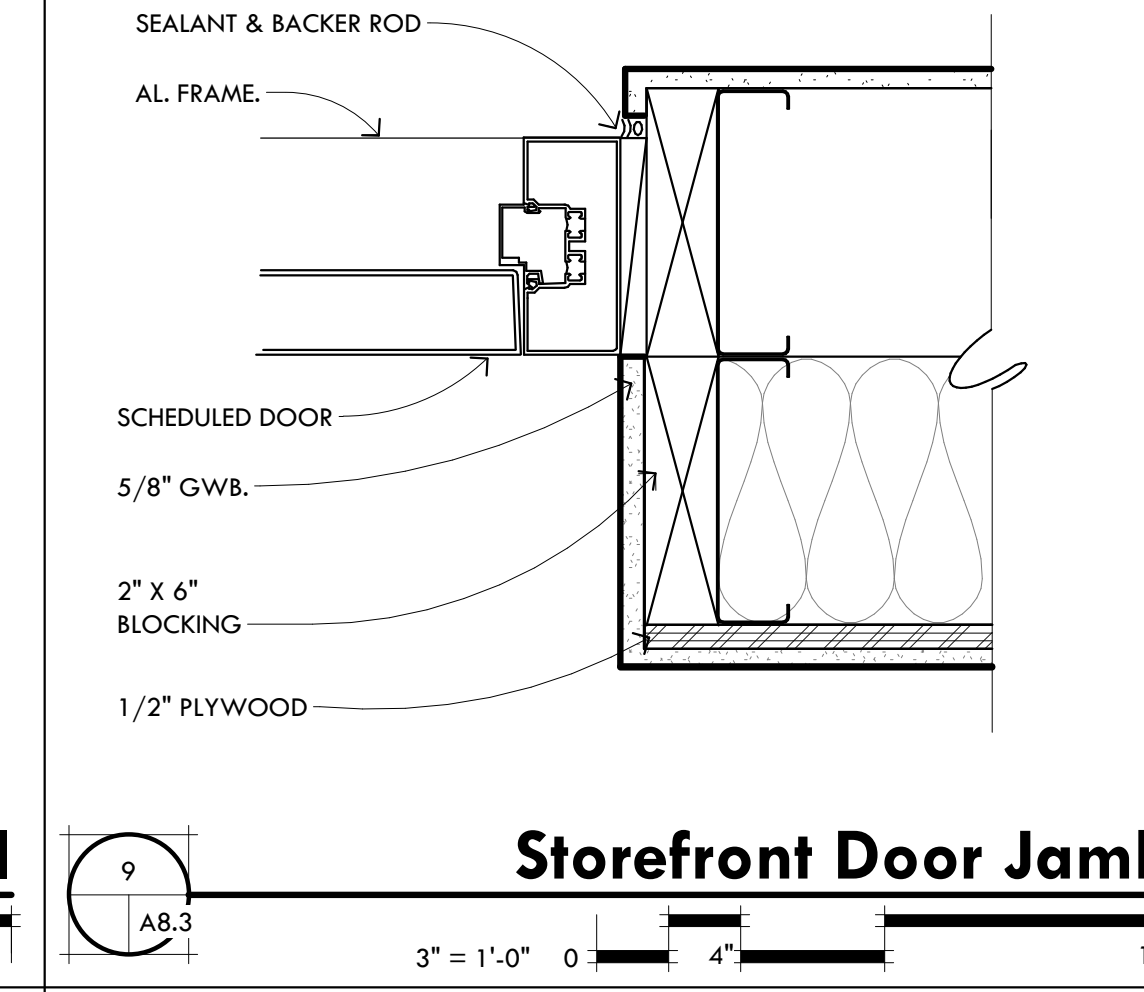
8 Storefront Door Threshold 3" = 1'-0" 0 4" 1'



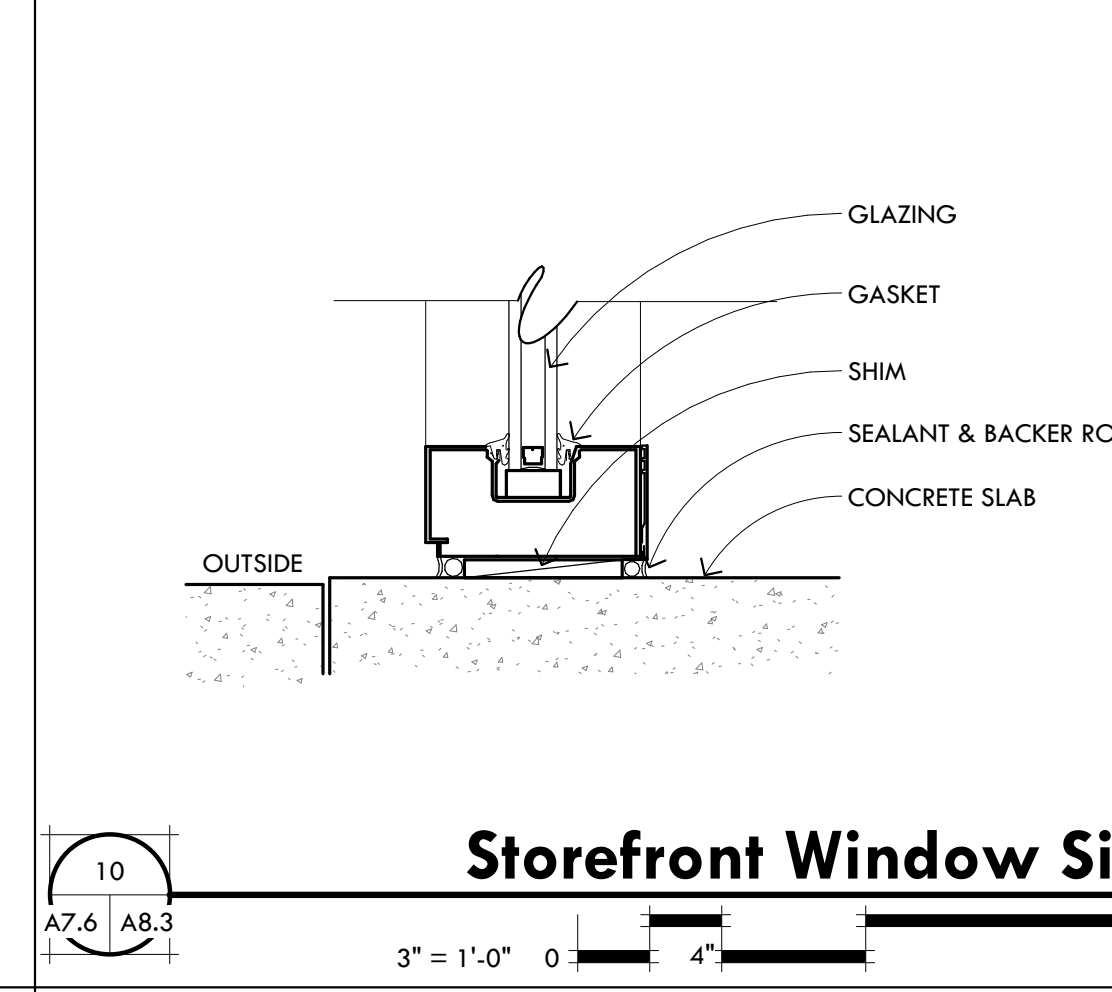
10 Storefront Window Sill 3" = 1'-0" 0 4" 1'



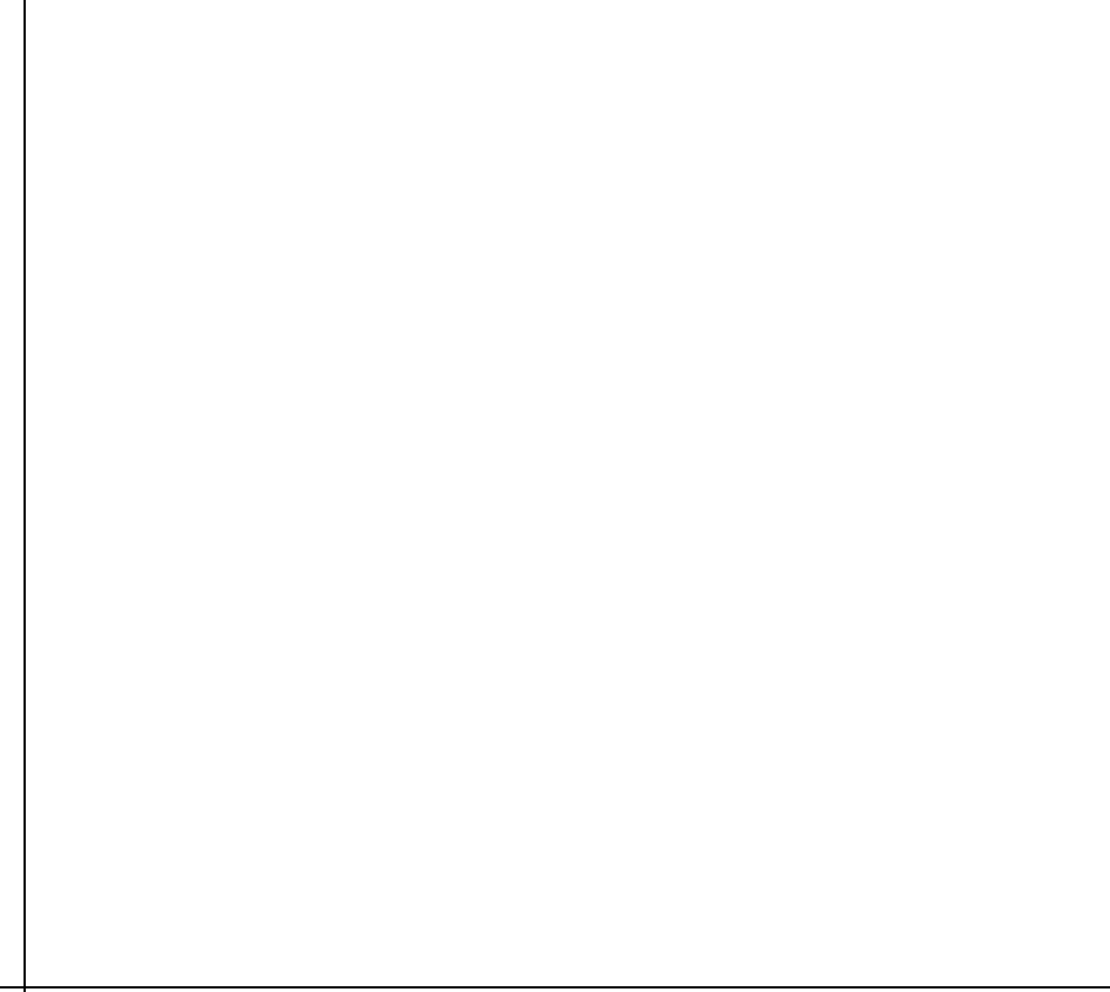
5 Coiling Door 1 1/2" = 1'-0" 0 6" 2'



9 Storefront Door Jamb 3" = 1'-0" 0 4" 1'

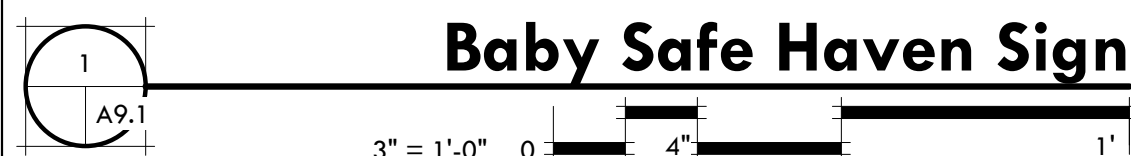
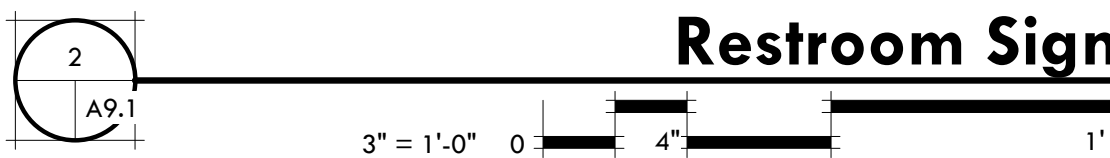
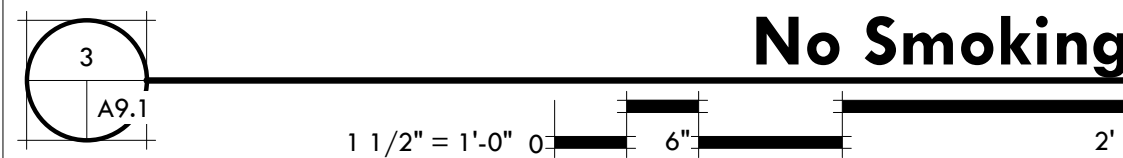
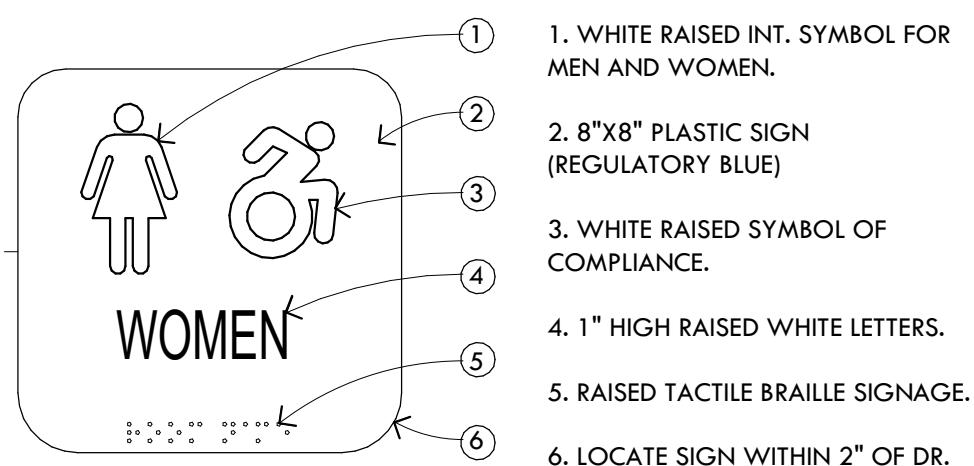
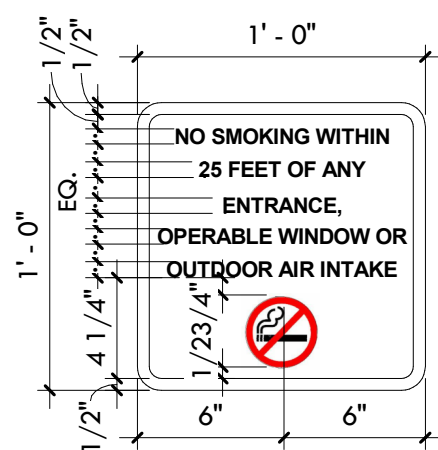


7 Storefront Window Head 3" = 1'-0" 0 4" 1'



8 Storefront Door Threshold 3" = 1'-0" 0 4" 1'

PLOT DATE: 11/25/2024 4:46:34 PM



Room Finish Schedule

Number	Name	Floor	Base	Walls				Ceiling			Notes
				North	East	South	West	Ht.	Matl.	Fin.	
101	LOBBY	PC	VB	P1	P1	P1	P2	9'-0"	ACT-1	-	
102	OPEN OFFICE	PC	VB	P1	P1	P1	P2	10'-0"	ACT-1	-	
103	CONFERENCE ROOM	PC	VB	P2	P1	P1	P1	9'-0"	ACT-1	-	
104	IT	PC	VB	P1	P1	P1	P1	-	ACT-2	-	
105	FIRE CHIEF	PC	VB	P1	P1	P2	P1	9'-0"	ACT-1	-	
106	ASSISTANT CHIEF	PC	VB	P1	P1	P2	P2	9'-0"	ACT-1	-	
107	BREAK	PC	VB	P1	P1	P1	P1	9'-0"	ACT-1	-	
108	WOMEN'S	PC	CT	P1	CT	CT	P1	8'-0"	GW8	P1	
109	MEN'S	PC	CT	P1	P1	CT	CT	8'-0"	GW8	P1	
110	F.F. STUDY	PC	VB	P2	P1	P1	P1	9'-0"	ACT-1	-	
112	KITCHEN/ DAYROOM	PC	VB	P1	P1	P1	P1	-	GW8	P1	
113	FITNESS	AF	AFB	P1	P1	P1	P1	12'-0"	ACT-1	-	2
114	OFFICE	PC	VB	P1	P2	P1	P1	9'-0"	ACT-1	-	
115	AIRLOCK	PC	VB	P1	P1	P1	P1	9'-0"	ACT-1	-	
116	SHOWER	PC	CT	CT	CT	CT	CT	8'-0"	GW8	P1	3
117	SHOWER	PC	CT	CT	CT	CT	CT	8'-0"	GW8	P1	3
118	HALL	PC	VB	P1	P1	P1	P1	9'-0"	ACT-1	-	
119	DORM	PC	VB	P1	P1	P1	P1	9'-0"	ACT-3	-	
120	DORM	PC	VB	P1	P1	P1	P1	9'-0"	ACT-3	-	
121	DORM	PC	VB	P1	P1	P1	P1	9'-0"	ACT-3	-	
122	DORM	PC	VB	P1	P1	P1	P1	9'-0"	ACT-3	-	
123	STOR.	PC	PC	P1	P1	P1	P1	9'-0"	ACT-2	-	
124	DORM	PC	VB	P1	P1	P1	P1	9'-0"	ACT-3	-	
125	MED STO.	PC	VB	P1	P1	P1	P1	9'-0"	ES	-	1, 4
126	MECH. ROOM	PC	VB	FRP	FRP	FRP	FRP	-	ES	-	1
127	APPARATUS BAYS	SC	-	P1	P1	P1	P1	-	ES	-	
128	GENERAL STORAGE	SC	VB	FRP	FRP	FRP	FRP	8'-0"	ES	-	1, 4
129	TURN-OUT ROOM	RE	VB	FRP	FRP	FRP	FRP	8'-0"	ES	-	1, 4
130	ELECTRIC	SC	VB	P1	P1	P1	P1	8'-0"	ES	-	
131	FIRE RISER	SC	VB	P1	P1	P1	P1	-	ES	-	

ROOM FINISH LEGEND

FLOOR	WALLS
PC POLISHED CONCRETE	CT CERAMIC TILE
SC SEALED CONCRETE	P1 PAINT - FIELD COLOR
AF ATHLETIC FLOORING	P2 PAINT - ACCENT COLOR
VB RUBBER WALL BASE	P3 PAINT - DOOR FRAMES
AFB RUBBER WALL BASE	FRP FIBER REINFORCED PANEL

CEILING

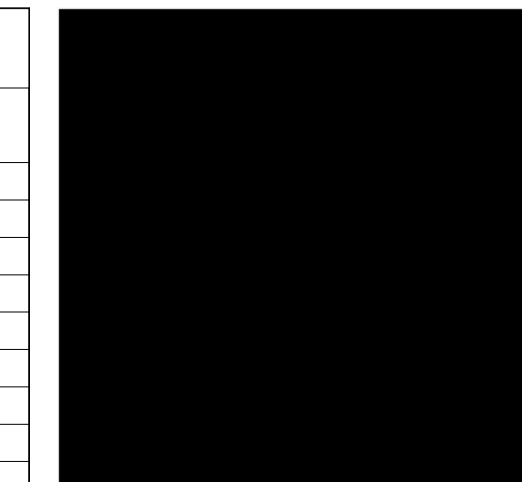
GW8 GYPSUM WALL BOARD
ACT-1 SUSPENDED ACOUSTICAL CEILING
ACT-2 CLEAN RM. SUSP. ACOUSTICAL CEILING
ACT-3 FIRE RATED SUSP. ACOUSTICAL CEILING
ES EXPOSED STRUCTURE
V VARIES

ROOM FINISH NOTES

- WALLS SHALL HAVE A TYPE 4 LEVEL PAINTED FINISH TO THE BOTTOM OF THE STRUCTURE
- ATHLETIC FLOORING BASE TO BE 18" HIGH
- SOLID SURFACE WALLS & PAN @ SHOWER

Signage Schedule

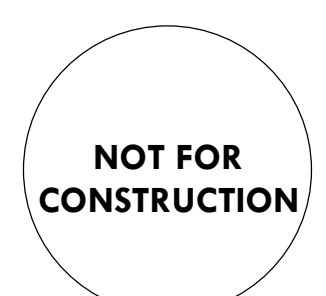
Room Number	Door Number	Room Name	Sign Type	Qty	Sign Message	Notes
101	101A	LOBBY	A	1	LOBBY	
102	102A	OPEN OFFICE	A	1	OPEN OFFICE	
103	103A	CONFERENCE ROOM	A	1	CONFERENCE ROOM	
104	104A	IT	A	1	INTEGRATED TECH	
107	-	BREAK	-	-	BREAK ROOM	
109	109A	MEN'S	A	1	MEN'S RESTROOM	
110	-	F.F. STUDY	-	-	FIRE FIGHTERS STUDY	
111	-	DAYROOM	-	-	DAYROOM	
112	112A	KITCHEN	A	1	KITCHEN	
113	113A	FITNESS	A	1	FITNESS	
114	114A	OFFICE	A	1	OFFICE	
115	115A	AIRLOCK	A	1	AIRLOCK	
115	115B	AIRLOCK	B	1	AIRLOCK	
116	116	SHOWER	A	1	SHOWER	
117	117	SHOWER	A	1	SHOWER	
118	118A	HALL	C	1	HALL	
118	118B	HALL	A	1	HALL	
118	118C	HALL	A	1	HALL	
119	119A	DORM	A	1	DORM	
120	120A	DORM	A	1	DORM	
121	121A	DORM	A	1	DORM	
122	122A	DORM	A	1	DORM	
123	123A	STOR.	A	1	STORAGE	
124	124A	DORM	A	1	DORM	
125	125	MED STO.	A	1	MEDICAL STORAGE	
126	126A	MECH. ROOM	B	1	MECHANICAL ROOM	
127	127B	APPARATUS BAYS	D	1	APPARATUS BAYS	
127	127C	APPARATUS BAYS	D	1	APPARATUS BAYS	
127	127D	APPARATUS BAYS	D	1	APPARATUS BAYS	
127	127E	APPARATUS BAYS	E	1	APPARATUS BAYS	
127	127F	APPARATUS BAYS	E	1	APPARATUS BAYS	
127	127G	APPARATUS BAYS	D	1	APPARATUS BAYS	
127	127H	APPARATUS BAYS	D	1	APPARATUS BAYS	
127	127I	APPARATUS BAYS	D	1	APPARATUS BAYS	
128	128	GENERAL STORAGE	E	1	GENERAL STORAGE	
129	129	TURN-OUT ROOM	A	1	TURN-OUT ROOM	
130	130	ELECTRIC	E	1	ELECTRICAL	
131	131	FIRE RISER	E	1	FIRE RISER	



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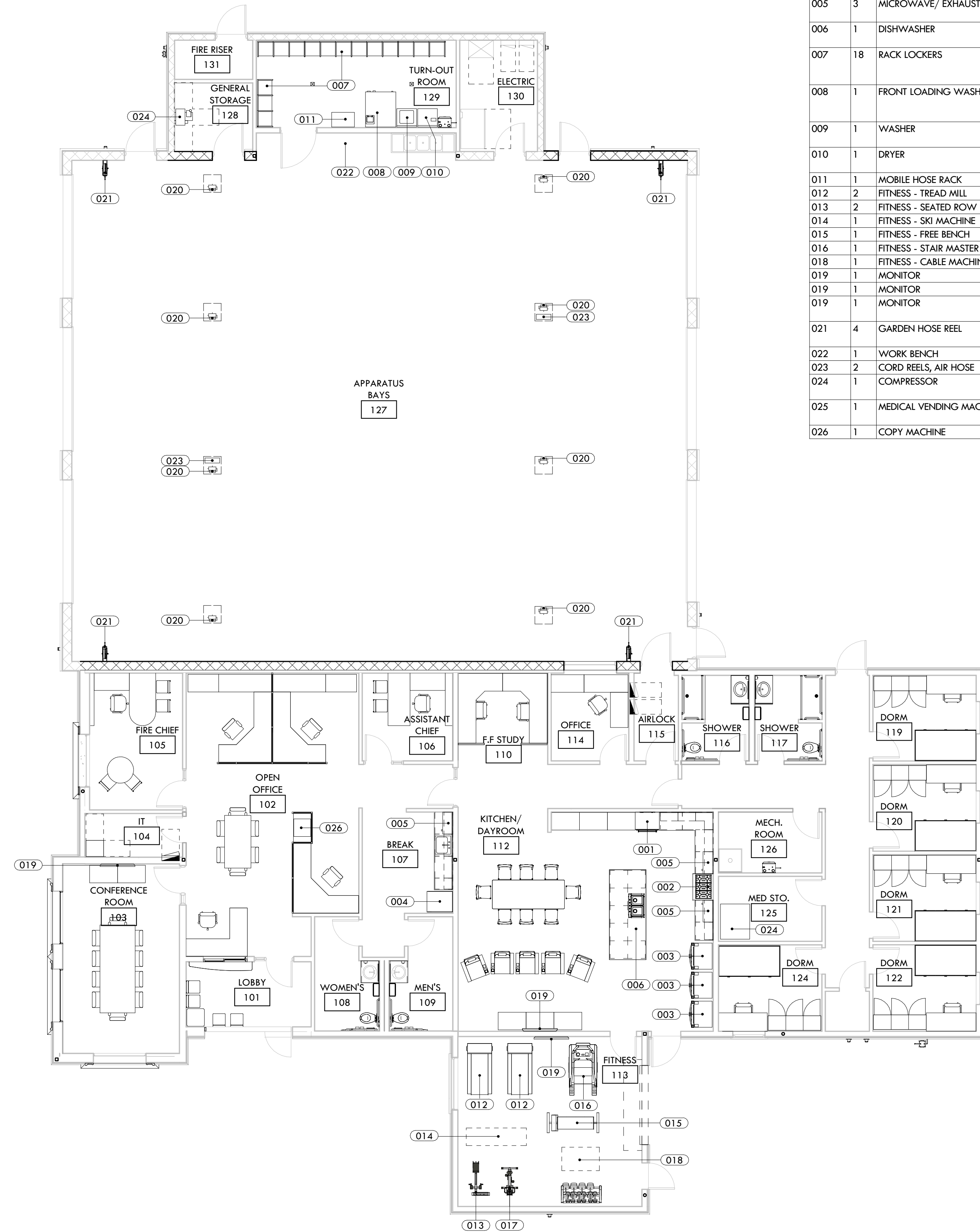
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Room Finish
Schedule
A9.1



Equipment Schedule

NUMBER	QTY	NAME	MODEL	LOCATION	MANUFACTURER	SIZE (WxDxH)	WEIGHT (LBS)	FURNISHED BY	INSTALLED BY	ELECTRICAL	WATER	COMMENTS
001	1	DOUBLE BUILT-IN OVEN W/ AIR FRYER	WADS-30	KITCHEN	Z LINE	29.875W X 24.5D X 51.25H	290 LBS	-	-	240V/60HZ /35.4A		STAINLESS STEEL
003	3	REFRIGERATOR	PRFC2383AF	KITCHEN	FRIGIDAIRE	36 X 30 4/5 X 70"	365 LBS	CONTRACTOR	CONTRACTOR	YES	YES	BLACK WITH STAINLESS FRAME
004	1	SINGLE DOOR REFRIGERATOR	FPRU19F8WF	KITCHEN	FRIGIDAIRE	32 7/8" X 27" X 72 1/2"		CONTRACTOR	CONTRACTOR	YES		STAINLESS STEEL
005	3	MICROWAVE/ EXHAUST	WMH32519HW	KITCHEN	WHIRLPOOL	29 7/8 X 16 3/4 X 17 1/8"		CONTRACTOR	CONTRACTOR	YES		STAINLESS STEEL
006	1	DISHWASHER	SHEBPT55UC	KITCHEN	BOSCH	23 9/16 X 23 3/4 X 33 7/8-35"		CONTRACTOR	CONTRACTOR	YES	YES	STAINLESS STEEL
007	18	RACK LOCKERS	RMSS-3/24/SEC	TURNOUT	READY RACK	76 X 20 X 79"		CONTRACTOR	CONTRACTOR	YES		FOR EACH LOCKER OPENING PROVIDE 1 HELMET HOLDER, 2 HANGING APPAREL HOOKS, 1 GLOVE DRY HANGER, 1 QUICK DRY COAT HANGER, 1 SECURITY OPTION (DOOR AND TOP SECURITY SHELF)
008	1	FRONT LOADING WASHER	EX670	TURNOUT	WASCOMAT	41 X 45 X 57"	70 LBS	CONTRACTOR	CONTRACTOR	220V/ 20/ DEDICATED CIRCUIT	YES	70 LB COMMERCIAL GRADE FRONT LOADING EXTRACTING WASHER. FULLY AUTOMATIC WITH CLARUS PROGRAMMABLE WASH CONTROL STAINLESS STEEL FINISH.
009	1	WASHER	PROFILE SERIES WPREB150KWT	TURNOUT	GE	27 X 25.5 X 42"		CONTRACTOR	CONTRACTOR	120V/20	YES	4.1 CF CAPACITY TOP LOADING WASHER WITH STAINLESS STEEL WASH BASKET, WHITE FINISH, ENERGY STAR COMPLIANT.
010	1	DRYER	PROFILE SERIES DPSR610EGWT	TURNOUT	GE	27 X 28.7 X 42"		CONTRACTOR	CONTRACTOR	240V/5.6K W/24A		7.0 CF CAPACITY ELECTRIC DRYER WITH STAINLESS STEEL DRUM, WHITE FINISH, REVERSIBLE DOOR.
011	1	MOBILE HOSE RACK	HC-64-2T	TURNOUT	READYRACK	72" X 34" X 79"	250 LBS	CONTRACTOR	CONTRACTOR			
012	2	FITNESS - TREAD MILL		GYM				OWNER	OWNER	YES		
013	2	FITNESS - SEATED ROW		GYM				OWNER	OWNER			
014	1	FITNESS - SKI MACHINE		GYM				OWNER	OWNER			
015	1	FITNESS - FREE BENCH		GYM				OWNER	OWNER			
016	1	FITNESS - STAIR MASTER		GYM				OWNER	OWNER	YES		
018	1	FITNESS - CABLE MACHINE		GYM				OWNER	OWNER			
019	1	MONITOR		GYM				OWNER	OWNER			FELD VERIFY MOUNTING HEIGHT, PROVIDE ELECTRICAL AND DATA
019	1	MONITOR		DAYROOM				OWNER	OWNER			FELD VERIFY MOUNTING HEIGHT, PROVIDE ELECTRICAL AND DATA
019	1	MONITOR		CONFERENCE ROOM				OWNER	OWNER			FELD VERIFY MOUNTING HEIGHT, PROVIDE ELECTRICAL AND DATA
021	4	GARDEN HOSE REEL	1041GH	APPARATUS BAY	ELEY CORP.	16 X 17 3/16 X 16 1/8		CONTRACTOR	CONTRACTOR			PROVIDE GARDEN HOSE
022	1	WORK BENCH	WT-3072-LL	APPARATUS BAY	LITTLE GIANT	72" X 30" X 35"H		CONTRACTOR	CONTRACTOR			2000 LB OVERALL LOAD CAPACITY
023	2	CORD REELS, AIR HOSE	7850OLPSW57	APPARTUS BAY	REELCRAFT			CONTRACTOR	CONTRACTOR			COMPRESSOR AIR
024	1	COMPRESSOR	2340L5-V	STORAGE ROOM	INGERSOLL	32"L X 21"W X 69" HT	2,400 LBS	-	-	230/1/60		TWO STAGE CAST IRON
025	1	MEDICAL VENDING MACHINE	4800-0001H	MEDICAL STORAGE	U-SELECT-IT CORP.	72" H X 41"W X 34"D	628 LBS.			115V/60HZ /1.2A	YES	
026	1	COPY MACHINE		OPEN OFFICE				OWNER	OWNER			

Furniture Schedule

ROOM NUMBER	QUANTITY	FURNITURE TYPE	COMMENTS
101	4	CHAIR	
101	1	COUNTER	
101	1	END TABLE	
102	1	CHAIR	
102	1	CONFERENCE TABLE	SEATS 6
102	4	TASK CHAIR	
102	5	TASK CHAIR WITH ARMREST	
102	66	PARTITIONS W/ HARDWARE	
102	3	WORK STATION	INCLUDES SITE DESK, FILING CABINET, AND CHAIRS
103	1	CONFERENCE TABLE	SEATS 10, PROVIDE EXTRA CHAIRS FOR STORAGE
103	2	SHELVING	
103	8	TASK CHAIR	
103	2	TASK CHAIR WITH ARMREST	
105	4	CHAIR	
105	1	OFFICE CHAIR	
105	2	DESK	
105	1	SHELF SYSTEM	
106	2	DESK	
105	1	SMALL CONFERENCE TABLE	SEATS 2
106	2	CHAIR	
106	1	SHELF SYSTEM	
106	1	OFFICE CHAIR	
110	7	OFFICE CHAIR	
112	8	CHAIR	
112	1	DINING TABLE	INCLUDES 8 CHAIRS
112	5	RECLINERS	
112	6	SHELVING	
114	1	OFFICE CHAIR	
114	3	DESK	
119	1	SYSTEMS WORK SURFACE	INCLUDES UPPER CABINETS AND DOWNLIGHT
119	1	CHAIR	
120	1	SYSTEMS WORK SURFACE	INCLUDES UPPER CABINETS AND DOWNLIGHT
120	1	CHAIR	
121	1	SYSTEMS WORK SURFACE	INCLUDES UPPER CABINETS AND DOWNLIGHT
121	1	CHAIR	
122	1	SYSTEMS WORK SURFACE	INCLUDES UPPER CABINETS AND DOWNLIGHT
122	1	CHAIR	
124	1	SYSTEMS WORK SURFACE	INCLUDES UPPER CABINETS AND DOWNLIGHT
124	1	CHAIR	

Furniture/ Equipment Plan
SCALE: 1/8" = 1'-0" 0' 8' 24'

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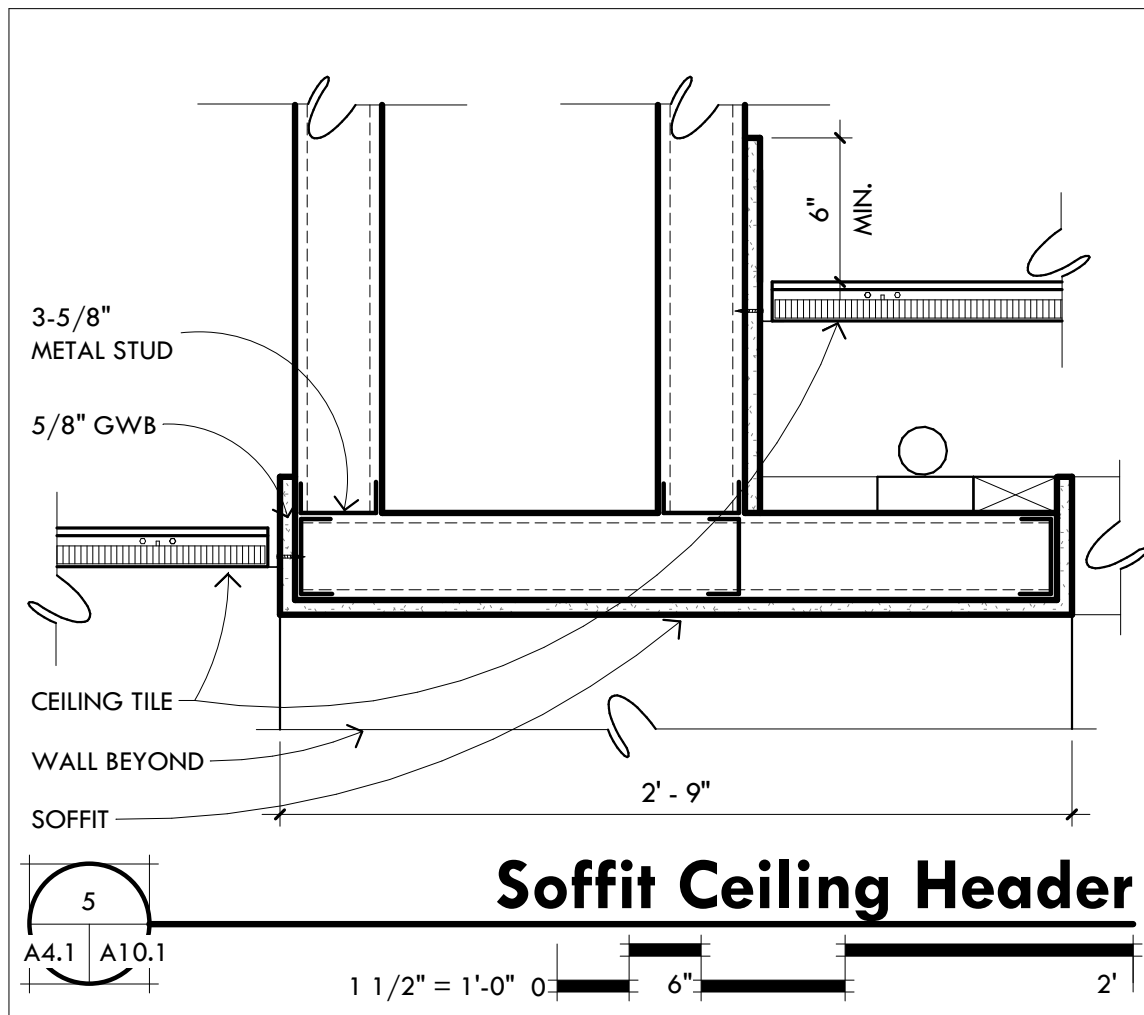
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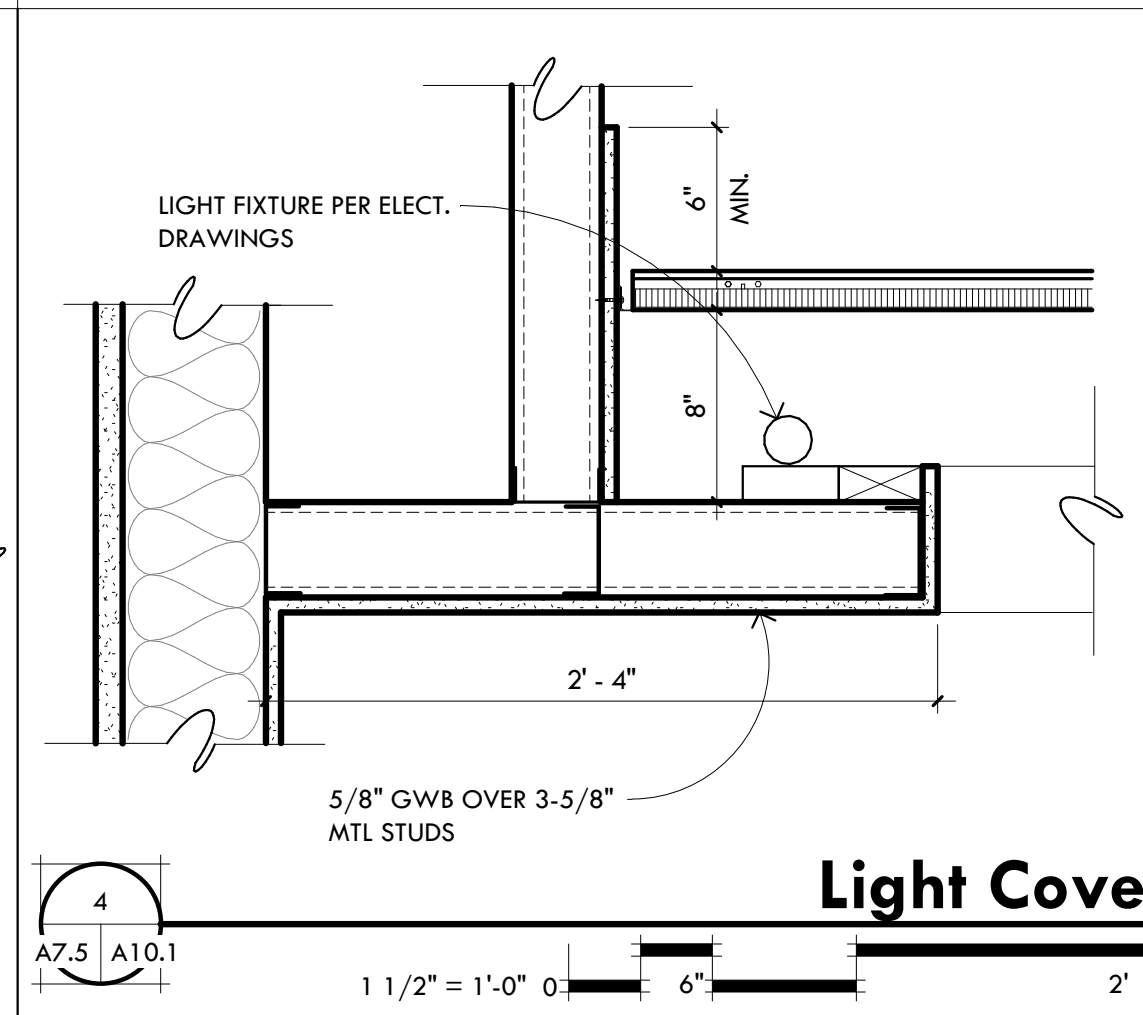
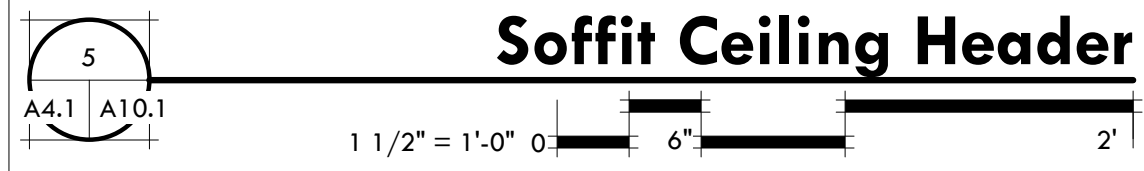
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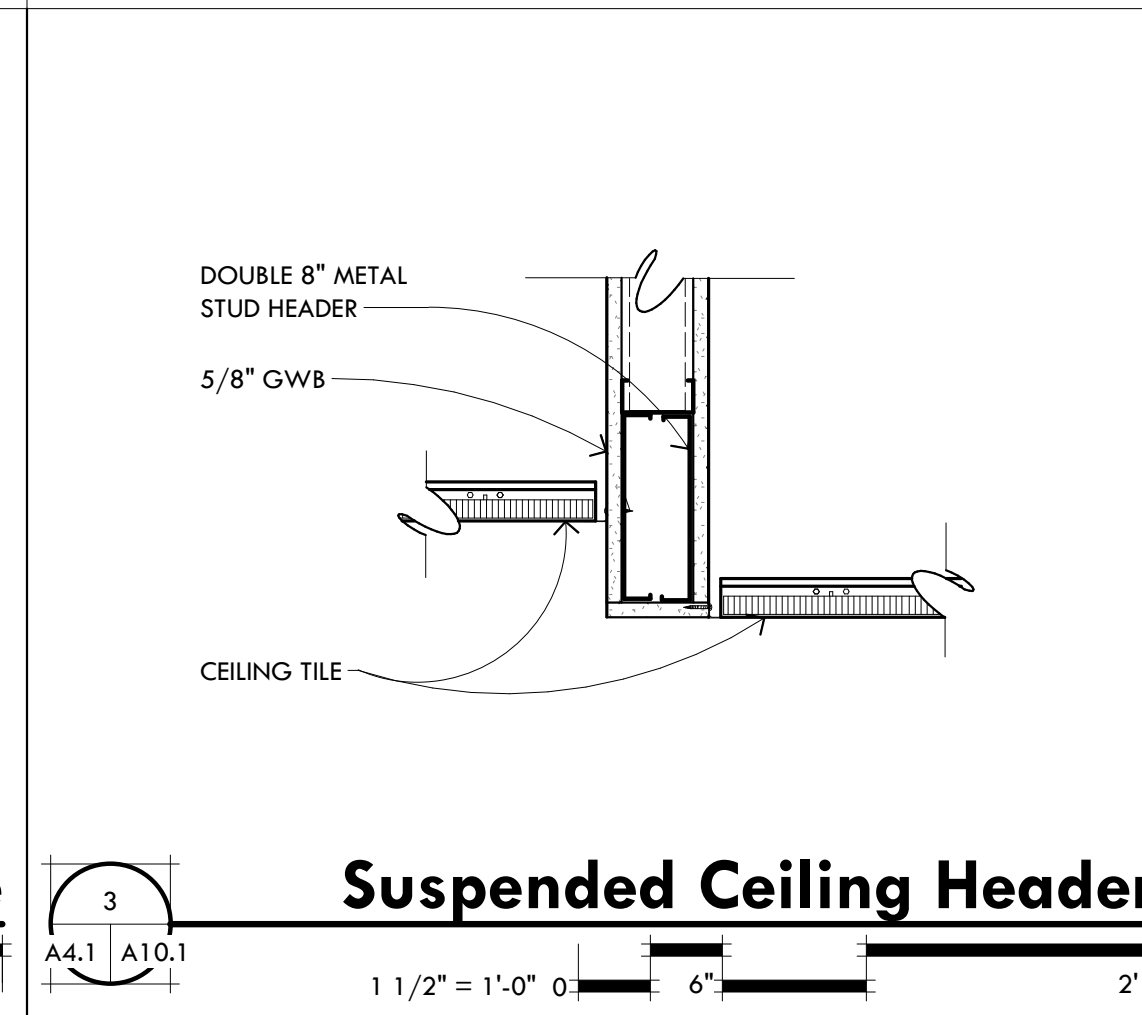
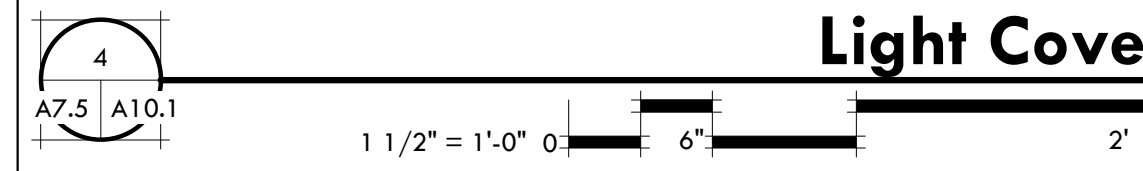
Furniture/ Equip.
Plan
A9.2



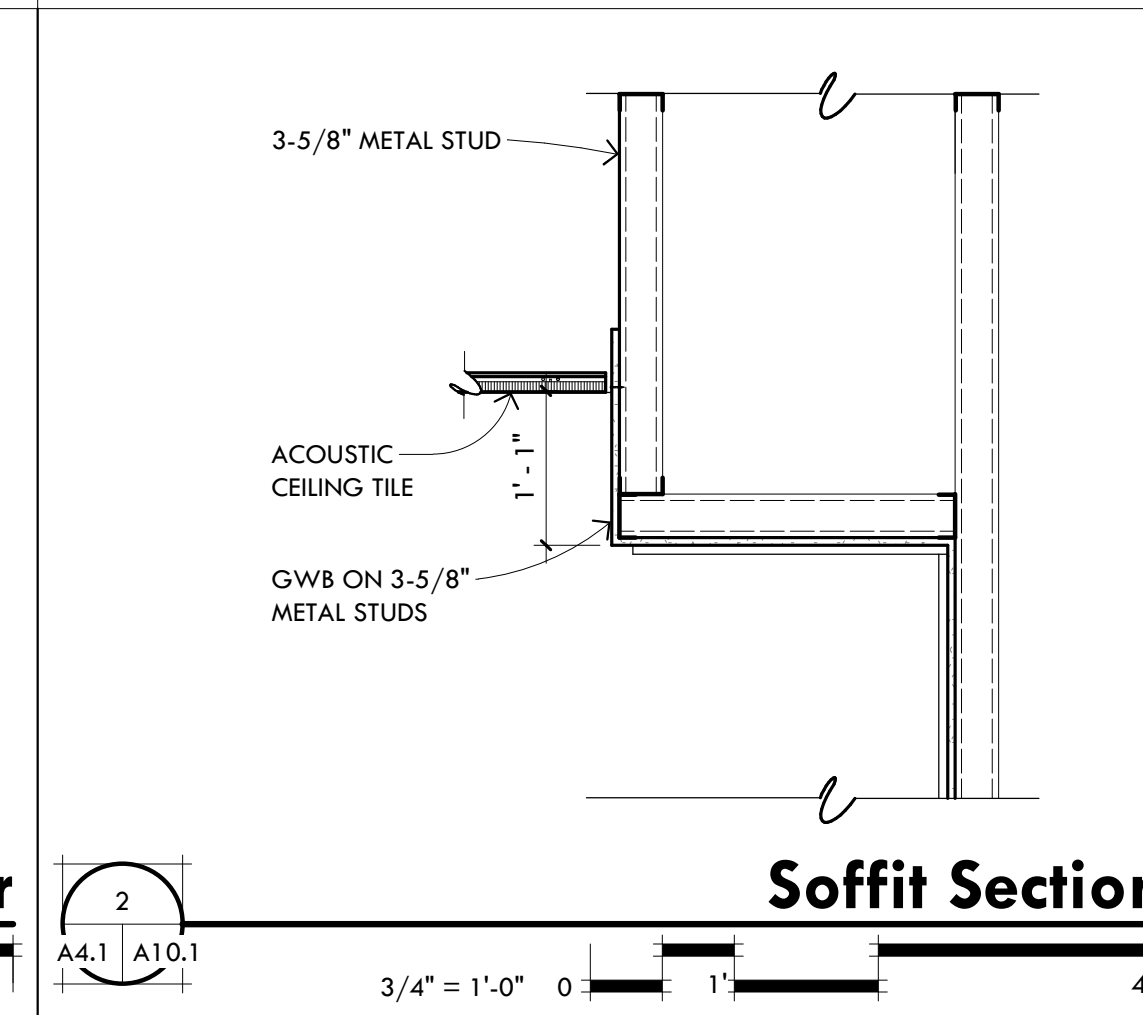
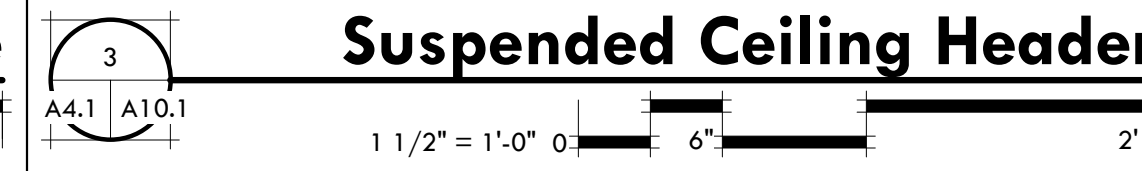
Soffit Ceiling Header



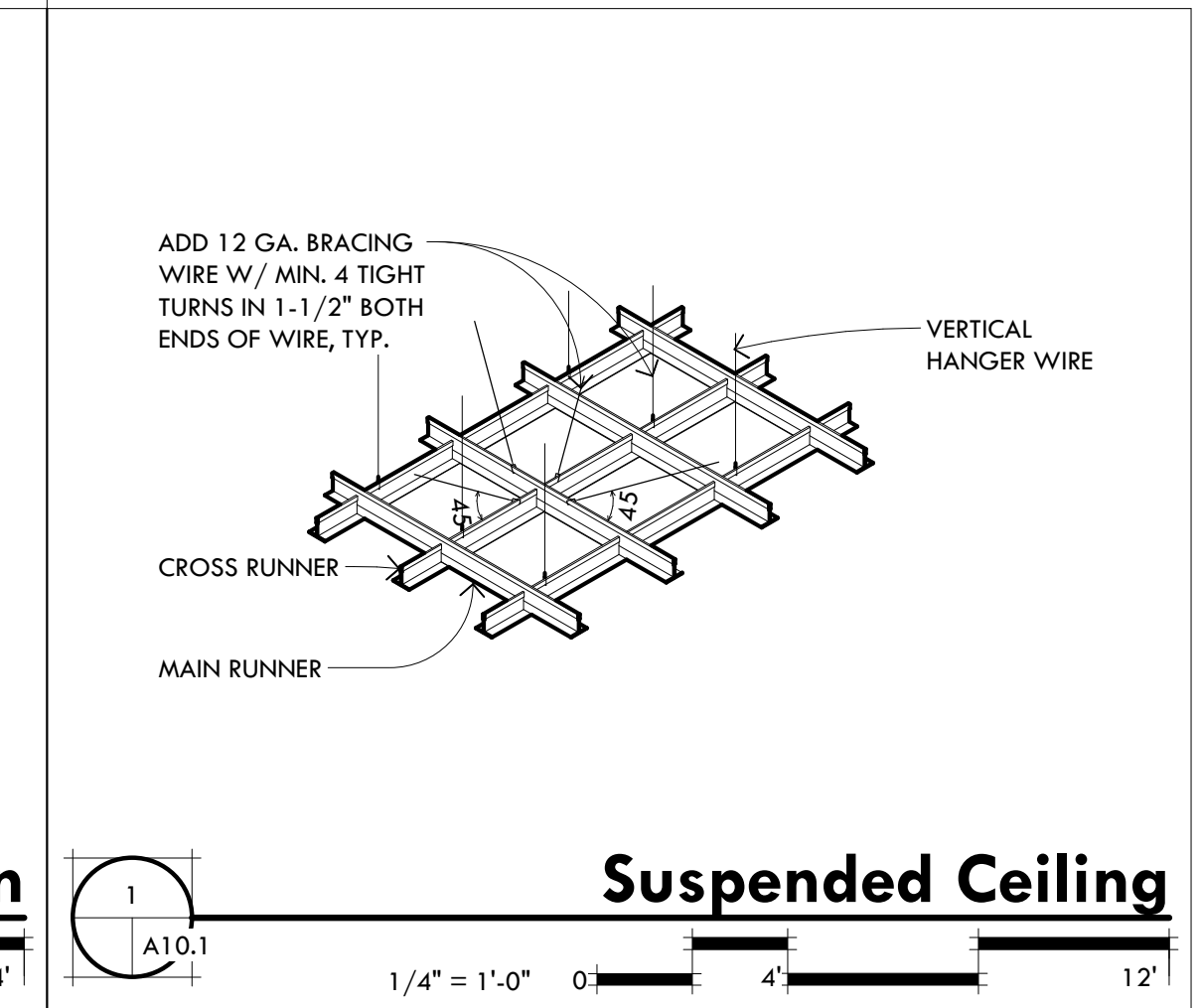
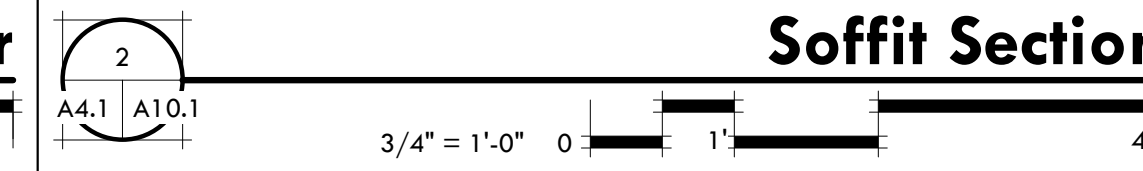
Light Cove



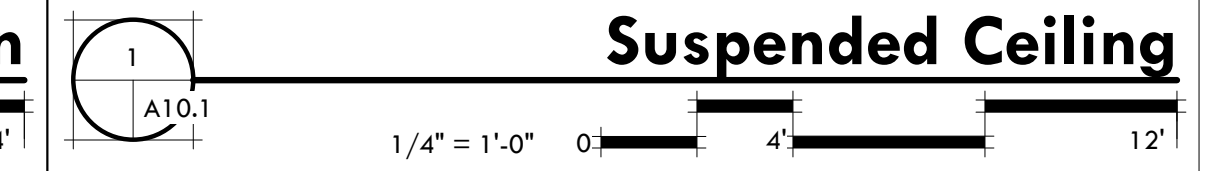
Suspended Ceiling Header



Soffit Section



Suspended Ceiling



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Details
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Tubac Fire Station #1

2227 I-19 Frontage Rd., Tubac, Arizona 85646

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NOVEMBER 2024

Tubac Fire Station #1
2227 I-19 frontage Rd., Tubac, AZ 85746
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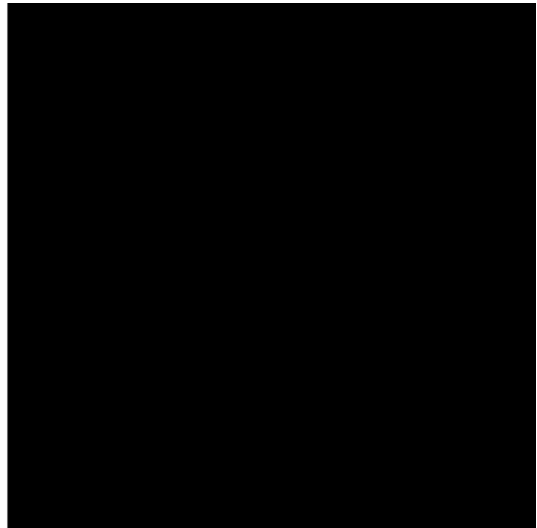
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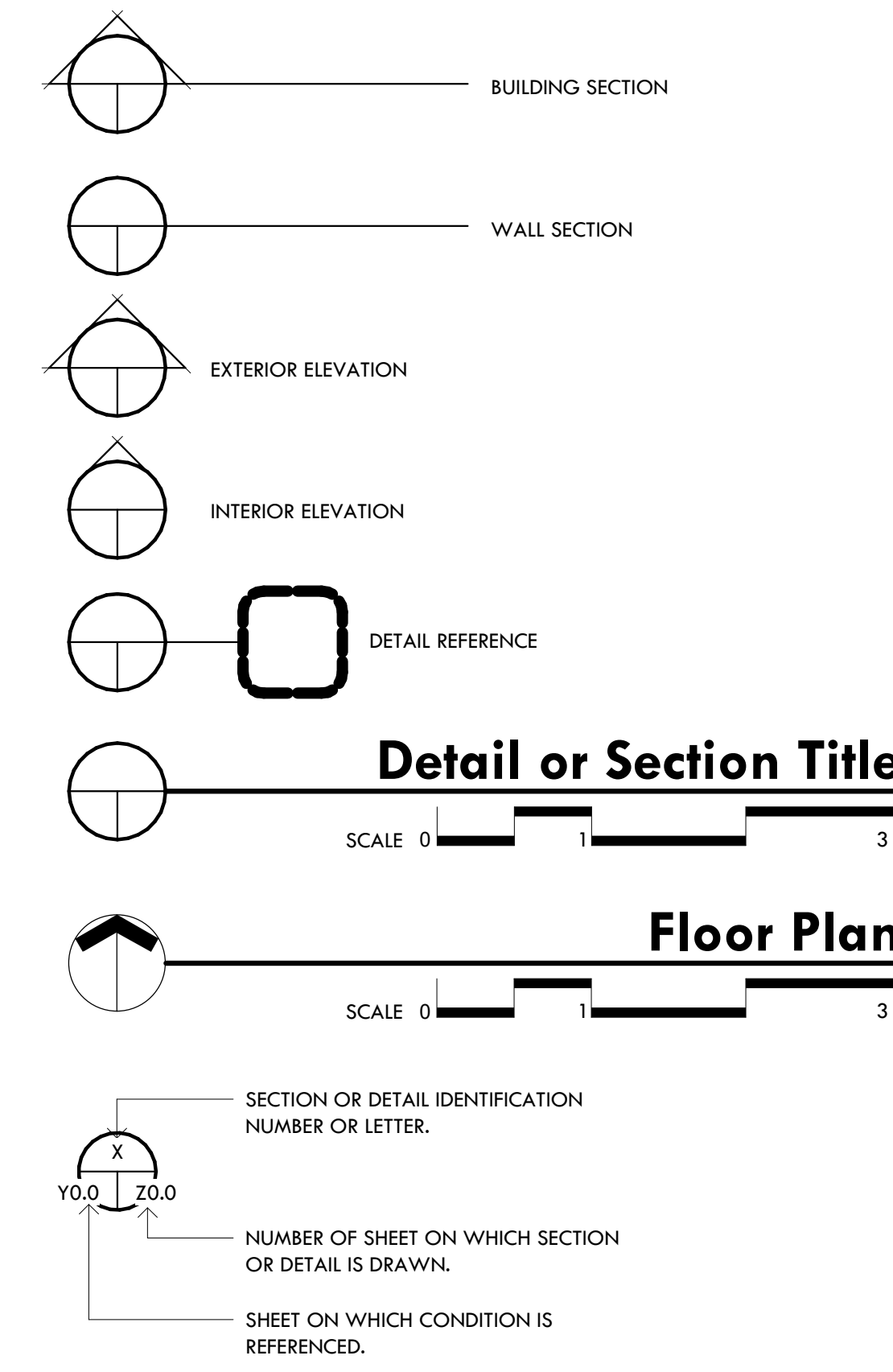
Breckenridge
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a r c h i t e c t s
p l a n n e r s

Cover
T10

ABBREVIATIONS

Table of abbreviations and their meanings, such as A.B. ANCHOR BOLT, MASONRY, MAT, etc.

SYMBOLS LEGEND



MATERIALS

Table of materials and their symbols, including EXISTING WALL REMOVED, NEW WALL, CONCRETE, BRICK, etc.

PROJECT CODE DATA

Governing Municipality: SANTA CRUZ COUNTY
Applicable Codes: 2012 INTERNATIONAL BUILDING CODE AND APPENDIX A, 2012 INTERNATIONAL MECHANICAL CODE, etc.

DEFERRED SUBMITTALS

PER SECTION 106.3.4.1: BRECKENRIDGE GROUP ARCHITECTS, THE REGISTERED DESIGN PROFESSIONAL IN CHARGE SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS...
PER SECTION 106.3.4.2: SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE...

PROJECT TEAM

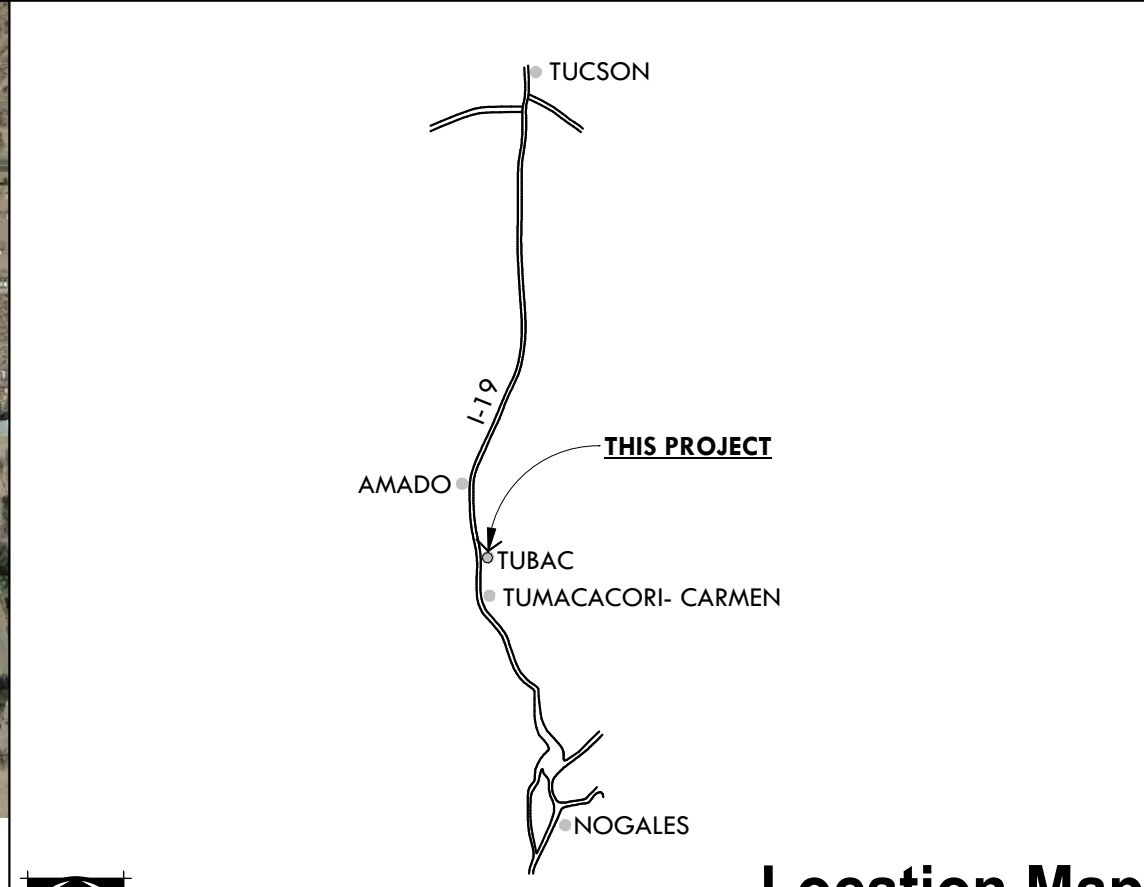
PROJECT ADDRESS: FIRE STATION NO.1, 2227 E. FRONTAGE ROAD, TUBAC, AZ 85646
CLIENT / OWNER: TUBAC FIRE DISTRICT
OWNER CONTACT: BEN GUERRERO, FIRE CHIEF
ARCHITECT: BRECKENRIDGE GROUP ARCHITECTS AND PLANNERS
CIVIL ENGINEER: ENGINEERING AND ENVIRONMENTAL CONSULTANTS- CEC
CONTRACTOR: D.L. NORTON GENERAL CONTRACTING, INC.

DRAWING INDEX

Table with columns SHEET # and SHEET TITLE, listing T1.0 COVER SHEET and AD2.1 DEMOLITION SITE PLAN.



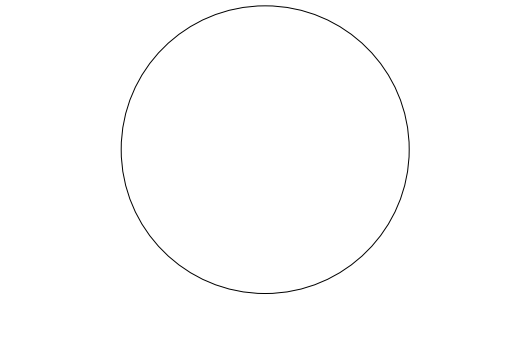
Vicinity Map



Location Map

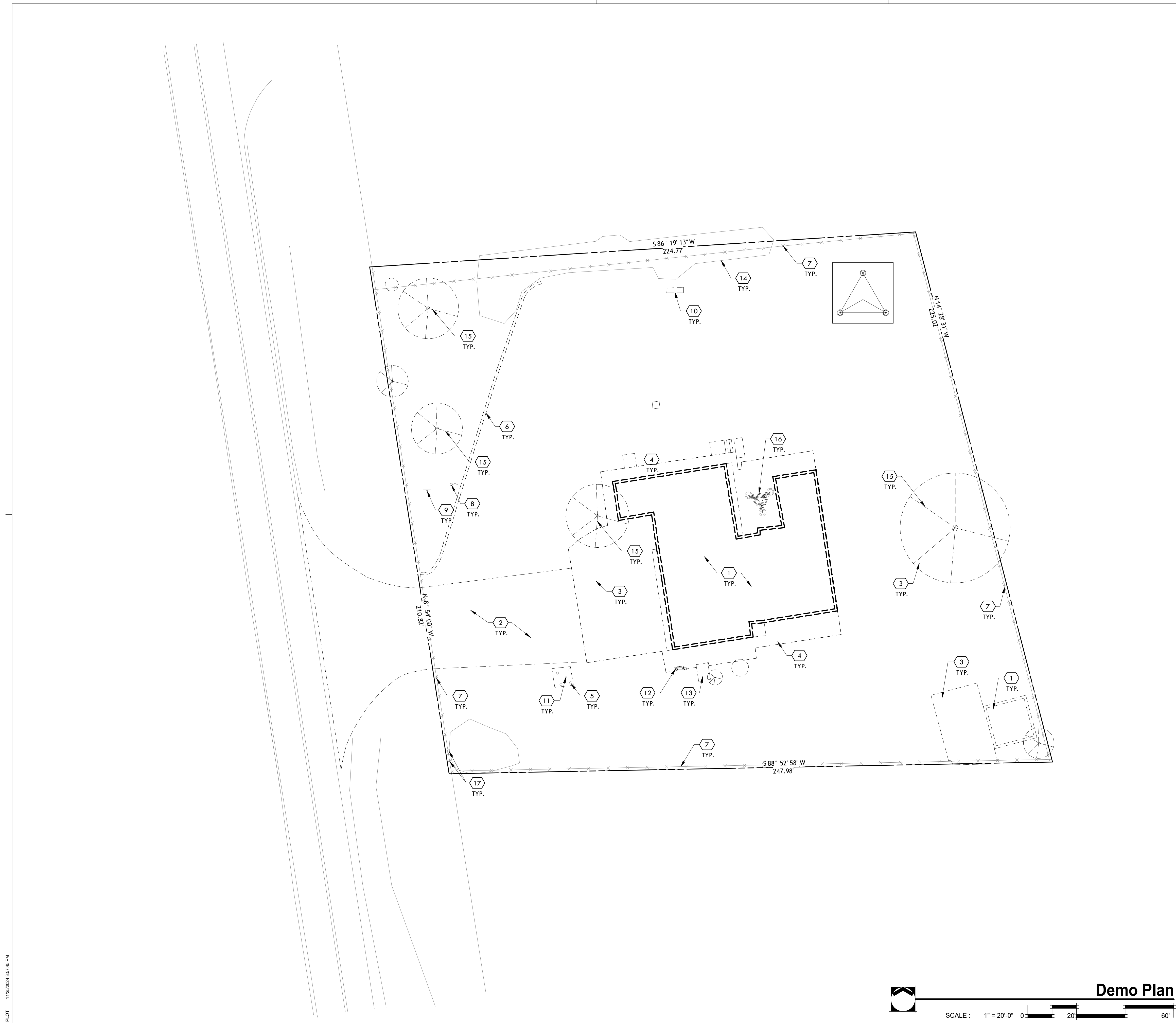
Breckenridge Group Architects & Planners logo and contact information: 1735 e ft. lowell rd. #12, tucson arizona 85719.

Tubac Fire Station #1
2227 I-19 frontage Rd., Tubac, AZ 85746
95% Site Demolition



PROJECT NO: 23.21.00
DATE: NOVEMBER 2024
REVISION SCHEDULE: # DATE DESCRIPTION ISSUED TO
DRAWN BY: MAA
CHECKED BY: CDA
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General Information section with the T2.0 logo.



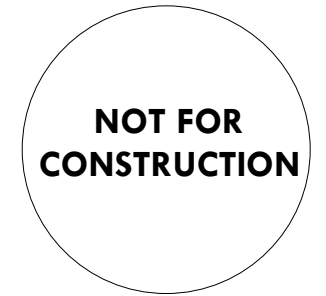
Keynotes

- ① DEMO BUILDING STRUCTURE
- ② DEMO ASPHALT PAVING
- ③ DEMO CONCRETE SLAB
- ④ DEMO CONCRETE SIDEWALK
- ⑤ DEMO BOLLARDS
- ⑥ DEMO STACKED STONE W/ WALL
- ⑦ DEMO PERIMETER CHAIN LINK FENCE
- ⑧ DEMO + REMOVE FLAG POLE & DEMO CONC. BASE
- ⑨ DEMO SLAB
- ⑩ REMOVE GAS TANK
- ⑪ REMOVE FIRE HYDRANT & SALVAGE TO FIRE DISTRICT
- ⑫ REMOVE GENERATOR
- ⑬ REMOVE ELECTRICAL CABINET
- ⑭ REMOVE VEGETATION
- ⑮ REMOVE TREES
- ⑯ COMMUNICATION TOWER TO BE REMOVED BY OTHERS
- ⑰ GAS METER TO BE RELOCATED

Breckenridge
 architects
 planners

1735 e ft. lowell rd. #12
 tucson arizona 85719
 520.882.9944

Tubac Fire Station #1
 2227 I-19 frontage Rd., Tubac, AZ 85746
 95% Site Demolition



PROJECT NO:
23.21.00

DATE:
NOVEMBER 2024

#	DATE	DESCRIPTION	ISSUED TO

DRAWN BY: MAA
 CHECKED BY: CDA

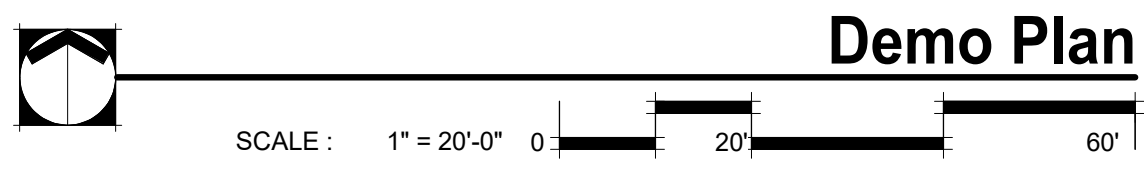
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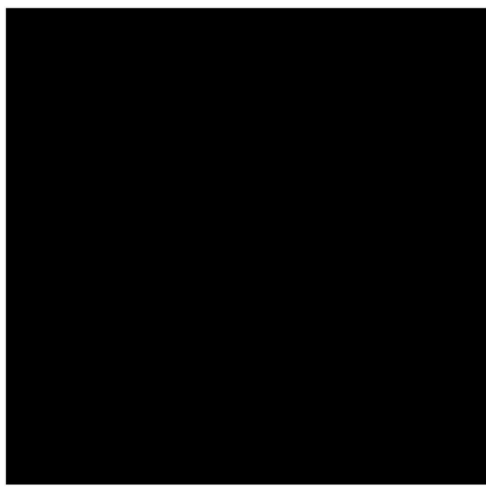
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Demolition Plan

AD2.1



PLOT: 11/22/2024 3:57:45 PM



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520.882.9944

Tubac Fire Station #1

Tower Communication Pad

2227 I-19 Frontage Rd., Tubac, Arizona 85646

95% Construction Documents

NOVEMBER 2024

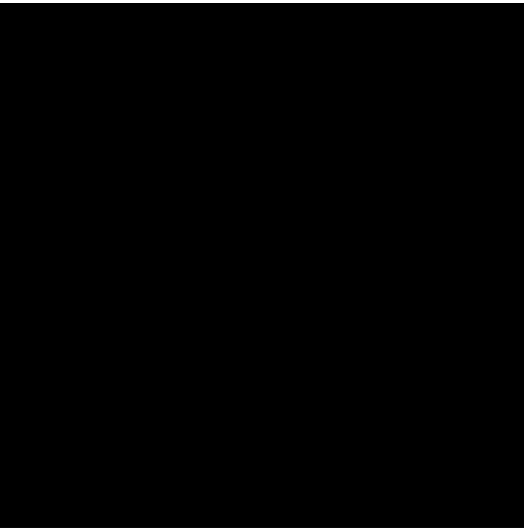
Tubac Fire Station #1
Tower Communication Pad
2227 I-19 Frontage Rd., Tubac, AZ 85646
95% Construction Documents

NOT FOR
CONSTRUCTION

PROJECT NO:
23.21.00
DATE:
NOVEMBER 2024

#	DATE	DESCRIPTION	ISSUED TO

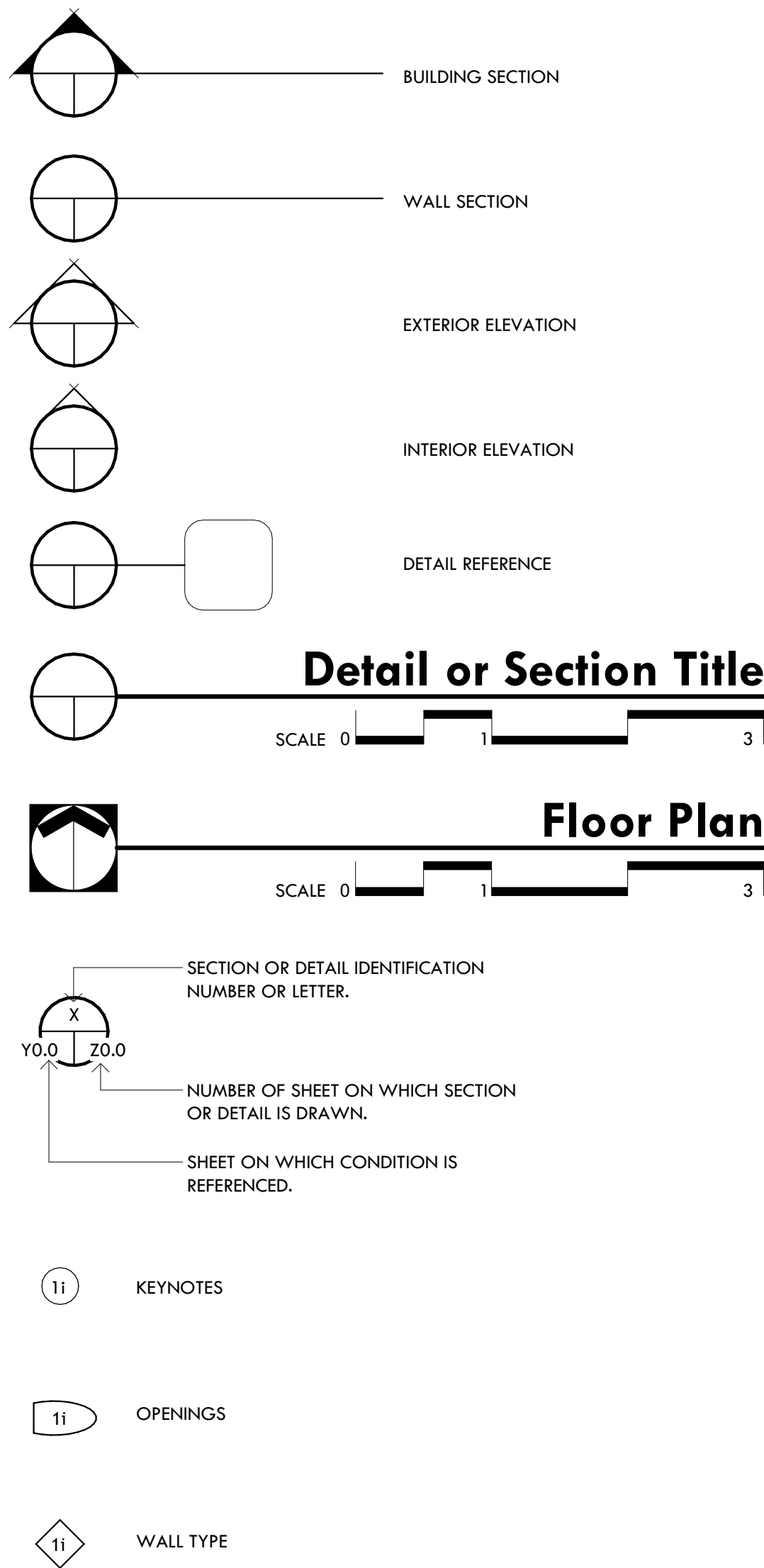
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Cover Sheet
T10.

SYMBOLS LEGEND



MATERIALS

EXISTING WALL REMOVED	---
EXISTING WALL TO REMAIN	=====
NEW WALL (REFER TO KEYNOTE)	=====
EARTH	=====
BASE COURSE	=====
CONCRETE	=====
CONCRETE MASONRY UNIT	=====
BRICK	=====
WOOD STUDS	=====
ROUGH FRAMING	=====
BLOCKING	=====
FINISH LUMBER	=====
PLYWOOD	=====
METAL STUDS SECTION	=====
STRUCTURAL STEEL	=====
BATT INSULATION	=====
RIGID INSULATION	=====
CEMENT PLASTER	=====
GYPSUM WALL BOARD	=====
CEILING TILE	=====
ASPHALT	=====

ABBREVIATIONS

A.B. ANCHOR BOLT	J.B. JUNCTION BOX
A.B.C. AGRREGATE BASE COURSE	J.C. JANITOR'S CLOSET
ABV ABOVE	JST JOIST
A.C. AIR CONDITIONING	JT JOINT
ADJ ADJACENT	LAV LAVATORY
A.F.F. ABOVE FINISHED FLOOR	MAS MASONRY
ALLOW ALLOWANCE	MAT MATERIAL
ALT ALTERNATE	MAX MAXIMUM
ALUM ALUMINUM	M.B. MECHANICAL BOLT
A.M.P. AMPERE	MCJ MASONRY CONTROL JOINT
A.P. ACCESS PANEL	MECH MECHANICAL
A.T. ACOUSTICAL TILE	MFG MANUFACTURER
@ AT	M.H. MANHOLE
AUTO AUTOMATIC	MIN MINIMUM
BD BOARD	MISC MISCELLANEOUS
B.L. BUILDING LINE	M.L. METAL LATH
BLDG BUILDING	MMB MEMBRANE
BLKG. BLOCKING	MO MASONRY OPENING
BM BEAM	MTD MOUNTED
BR BEDROOM	MTL METAL
BRG BEARING	MULL MULLION
CAB CABINET	NIC NOT IN CONTRACT
CALC CALCULATION	NOM NOMINAL
C.B. CATCH BASIN	NO. NUMBER
CD CABINET DOOR	NTS NOT TO SCALE
CEM CEMENT	OD OUTSIDE DIAMETER
CEM. PLAS. CEMENT PLASTER	O.F. OUTSIDE FACE
CER. CERAMIC	O.F.C.I. OWNER FURNISHED CONTRACTOR INSTALLED
C.F.C.I. CONTRACTOR FURNISH CONTRACTOR INSTALL	O.F.O.I. OWNER FURNISHED CONTRACTOR INSTALLED
CF CUBIC FEET	OP OPAQUE
C CHANNELS	OPG OPENING
C.I. CAST IRON	OPP OPPOSITE
C.I.R. CIRCLE	PERP PERPENDICULAR
CIR CIRCUIT	PLT PLATE
CJ CONTROL JOINT	PLAS PLASTER
CL CENTRAL LINE	PLGL PLATE GLASS
CLG CEILING	PLAM PLASTIC LAMINATE
CLR CLEAR	PLYWD PLYWOOD
C.M. CULTURED MARVEL	PMT PAINTED
CMU CONCRETE MASONRY UNIT	PNL PANEL
C.O. CLEAN OUT	PR. PAIR
COL COLUMN	PROJ PROJECT
CONC CONCRETE	PRT PARTITION
CONST CONSTRUCTION	PT PRESSURE TREATED
CONT CONTINUOUS	PVC POLYVINYL CHLORIDE
CRPT CARPET	QT QUARRY TILE
CSK COUNTERSINK	QTY QUANTITY
C.T. CERAMIC TILE	R RISER
CUFF CUBIC FOOT	RAD RADIUS
CUYD CUBIC YARD	RA RETURN AIR
CW COLD WATER	RCPT RECEPTACLE
DET DETAIL	RD ROOF DRAIN
DF DRINKING FOUNTAIN	REG REGISTER
DH DOUBLE HUNG	RE REINFORCED
DIA DIAMETER	REQ'D REQUIRED
DIM DIMENSION	REV. REVISION
DIV DIVISION	RFG ROOFING
DN DOWN	RM ROOM
DR DOOR	RO ROUGH OPENING
DRWR DRAWER	SC SOLID CORE
D.S. DOWN SPOUT	SCWD SOLID CORE WOOD FLOOR
DTL DETAIL	SCH SCHEDULE
DP DAMPPROOFING	SQ.FT. SQUARE FOOT
DWG DRAWING	SHT SHEET
EA EACH	SIM SIMILAR
E.J. EXPANSION JOINT	SM SHEET METAL
ELEC ELECTRICAL	SPECS SPECIFICATIONS
ELEV ELEVATION	SQ SQUARE
E.W. EACH WAY	SS STAINLESS STEEL
EWV ELECTRICAL WATER COOLER	STD STANDARD
EXH EXHAUST	STOR STORAGE
EXIST'G EXISTING	STL STEEL
EXP EXPANSION	STR STRUCTURAL
EXT EXTERIOR	SUSP. CLG. SUSPENDED CEILING
(E) EXISTING	T TREAD
FBD FIBERBOARD	T&G TONGUE AND GROOVE
FBO FURNISHED BY OTHERS	THR THRESHOLD
FCB FIBER CEMENT BOARD	TOB TOP OF BEAM
F.D. FLOOR DRAIN	TOC TOP OF CURB
FCO FLOOR CLEAN OUT	TOF TOP OF FOOTING
FDN FOUNDATION	TOM TOP OF MASONRY
FE FIRE EXTINGUISHER	TOW TOP OF WALL
FEC FIRE EXTINGUISHER CABINET	TS TUBE STEEL
FFE FINISH FLOOR ELEVATION	TYP. TYPICAL
FGL FIBERGLASS	UNO UNLESS NOTED OTHERWISE
FIN FINISH	VCT VINYL COMPOSITION TILE
FLSH FLASHING	VERT VERTICAL
FLR FLOOR	VTR VENT THROUGH ROOF
FS FLOOR SINK	W/ WITH
FT FEET	WC WATER CLOSET
FTG FOOTING	WCO WALL CLEAN OUT
FURR FURRING	WI WROUGHT IRON
GA GAUGE	WRBW WATER RESISTANT GYPSUM WALL BOARD
GLAV GALVANIZED	WSCOT WAINSCOT
GLB GLUE LAMB BEAM	WT WEIGHT
GWB GYPSUM WALL BOARD	WWM WELDED WIRE MESH
H.B. HORSE BIB	WD WOOD
H.C. HOLLOW CORE	WIN WINDOW
H.W. HARDWARE	WP WATER PROOF
H.M. HOLLOW METAL	WR WATER RESISTANT
HORIZ HORIZONTAL	
HT. HEIGHT	
HW HOT WATER	
HWR HOT WATER RETURN	
ICC INTEGRAL COLOR CONCRETE	
ID INSIDE DIAMETER	
IF INSIDE FACE	
INFO INFORMATION	
INS INSULATION	
INT INTERIOR	

DEFERRED SUBMITTALS

PER SECTION 106.3.4.1:

BRECKENRIDGE GROUP ARCHITECTS, THE REGISTERED DESIGN PROFESSIONAL IN CHARGE SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDED PHASED AND DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.

PER SECTION 106.3.4.2

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.

ANTICIPATED DEFERRED SUBMITTALS:

- FIRE ALARM SYSTEM
- FIRE PROTECTION SYSTEM

PROJECT CODE DATA

GOVERNING MUNICIPALITY

SANTA CRUZ COUNTY

APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE AND APPENDIX A
- 2012 INTERNATIONAL BUILDING CODE STANDARDS
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL PLUMBING CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL FUEL GAS CODE
- 2012 NATIONAL ELECTRICAL CODE
- 1997 UNIFORM BUILDING CODE, APPENDIX CHAPTER 33
- 1997 UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS
- 2012 INTERNATIONAL CODE COUNCIL ELECTRICAL CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

SPECIAL INSPECTIONS

AS REQUIRED BY SECTION 1704 OF THE INTERNATIONAL BUILDING CODE 2012 EDITION

-
-
-
-

PROJECT TEAM

PROJECT ADDRESS

FIRE STATION NO.1
2227 E. FRONTAGE ROAD
TUBAC, AZ 85646

CLIENT / OWNER

TUBAC FIRE DISTRICT
2227 I-19 FRONTAGE ROAD
TUBAC, AZ 85646

OWNER CONTACT

BEN GUERRERO
FIRE CHIEF
TUBAC FIRE DISTRICT
520.209.1562 EXT. 7201

ARCHITECT

BRECKENRIDGE GROUP ARCHITECTS AND PLANNERS
1735 EAST FORT LOWELL ROAD #12
TUCSON, ARIZONA 85712

KLINDT BRECKENRIDGE
PRINCIPAL
520.882.99.44

CIVIL ENGINEER

ENGINEERING AND ENVIRONMENTAL CONSULTANTS- CEC
555 E. RIVER ROAD #301.
TUCSON, ARIZONA 85704

RYAN STUCKI, PE
SR. VICE PRESIDENT
520.321.4625

STRUCTURAL ENGINEER

MARTIN, WHITE & GRIFFIS STRUCTURAL ENGINEERS, INC.
3501 EAST SPEEDWAY BOULEVARD
TUCSON, ARIZONA 85716

ANDY DILEO, SE
STRUCTURAL ENGINEER
520.327.9491

ELECTRICAL ENGINEER

M3 ENGINEERING & TECHNOLOGY
2051 W. SUNSET ROAD
TUCSON, ARIZONA 85704

ENRIQUE GIRON
PROJECT MANAGER
520.293.1488

CONTRACTOR

D.L. NORTON GENERAL CONTRACTING, INC.
8175 E. EVANS RD.# 14950
SCOTTSDALE, ARIZONA 85267

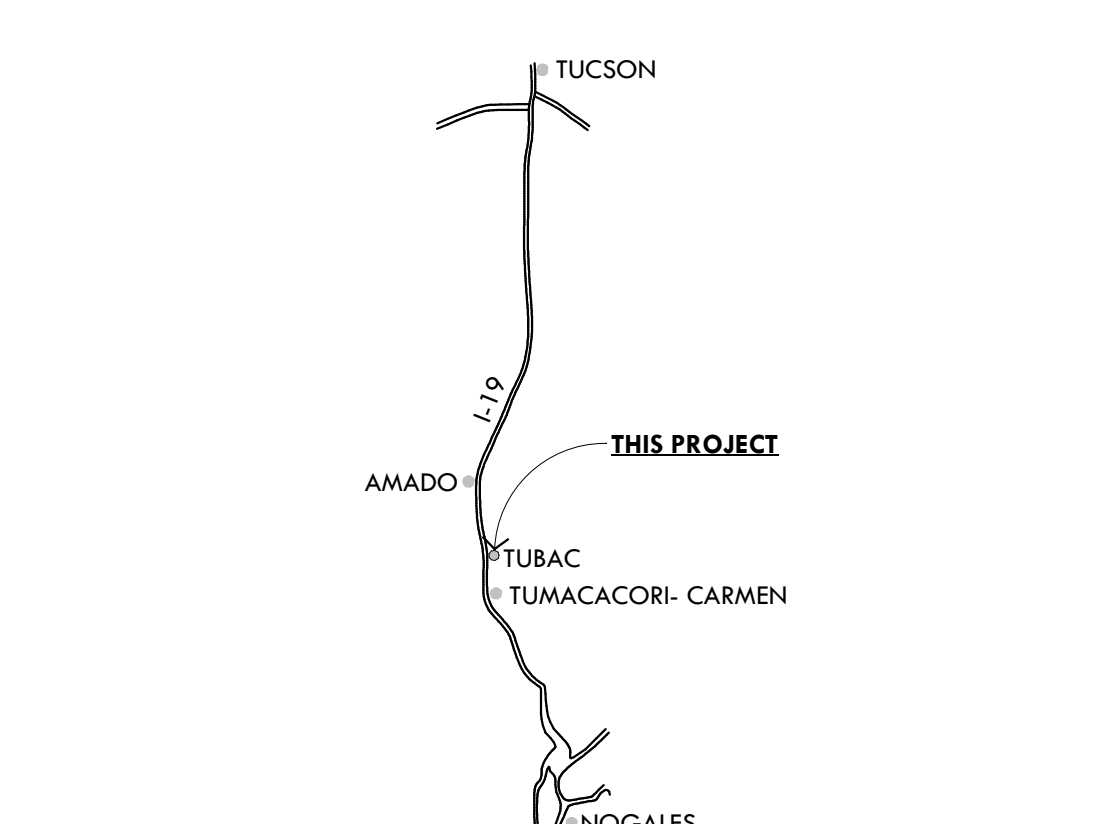
SCOTT GILES
PROJECT MANAGER
480.980.1340



Vicinity Map

DRAWING INDEX

T1.0.	COVER SHEET
T2.0.	GENERAL INFORMATION
C1.0	COVER SHEET
C1.1	NOTE SHEET
C2.0	GRADING SHEET
C2.1	GRADING SHEET
C3.0	DETAIL SHEET
AS1.1.	ARCHITECTURAL SITE PLAN
AS1.2.	ENLARGED PLAN & DETAILS
S0.1.	STRUCTURAL NOTES
S0.2.	STRUCTURAL NOTES
S1.1.	FOUNDATION PLAN
S1.2.	STRUCTURAL DETAILS



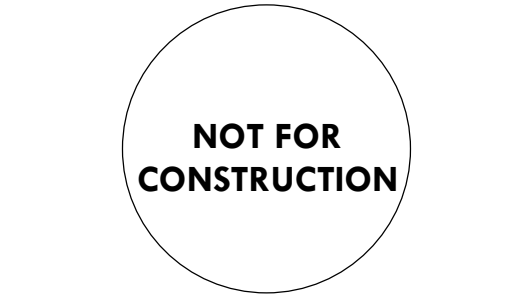
Location Map

Breckenridge
g a r c h i t e c t s
p l a n n e r s

1735 e ft. lowell rd. #12
tucson arizona 85719
5 2 0 . 8 8 2 . 9 9 4 4

Tubac Fire Station #1
Tower Communication Pad
2227 I-19 Frontage Rd., Tubac, AZ 85646

95% Construction Documents



PROJECT NO:
23.21.00

DATE:
NOVEMBER 2024

REVISION SCHEDULE:

#	DATE	DESCRIPTION	ISSUED TO

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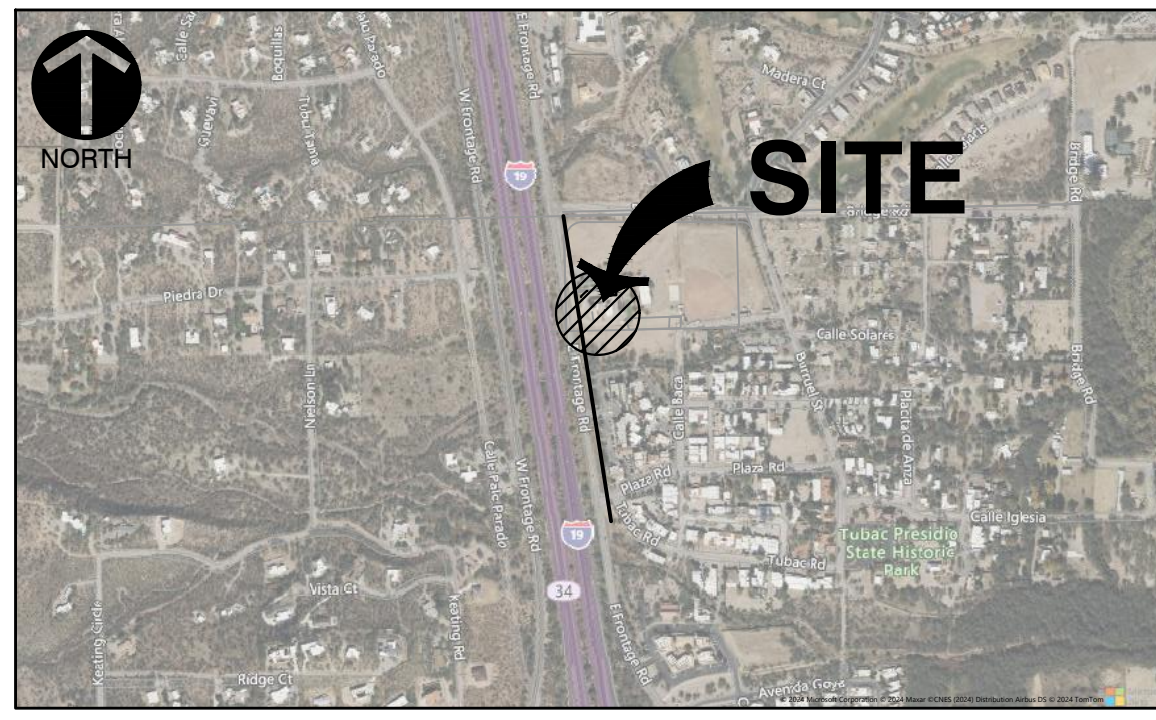
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General Information

T2.0.



VICINITY MAP

TUBAC FIRE STATION #1 GRADING PLAN

2227 I-19 FRONTAGE RD., TUBAC, AZ 85646
 APN: 11215001C
 NW4 SE4 OF SEC 7 T21S R13E
 NOVEMBER 2024

DRAWING INDEX		
SHEET NUMBER	DRAWING NUMBER	SHEET TITLE
1	C1.0	COVER SHEET
2	C1.1	GENERAL NOTES SHEET
3	C2.0	BUILDING AND PARKING LOT GRADING PLAN
4	C2.1	TOWER PAD ACCESS & BASIN GRADING PLAN
5	C3.0	DETAILS

OWNER/TEAM INFORMATION

CIVIL ENGINEER & LAND SURVEYOR

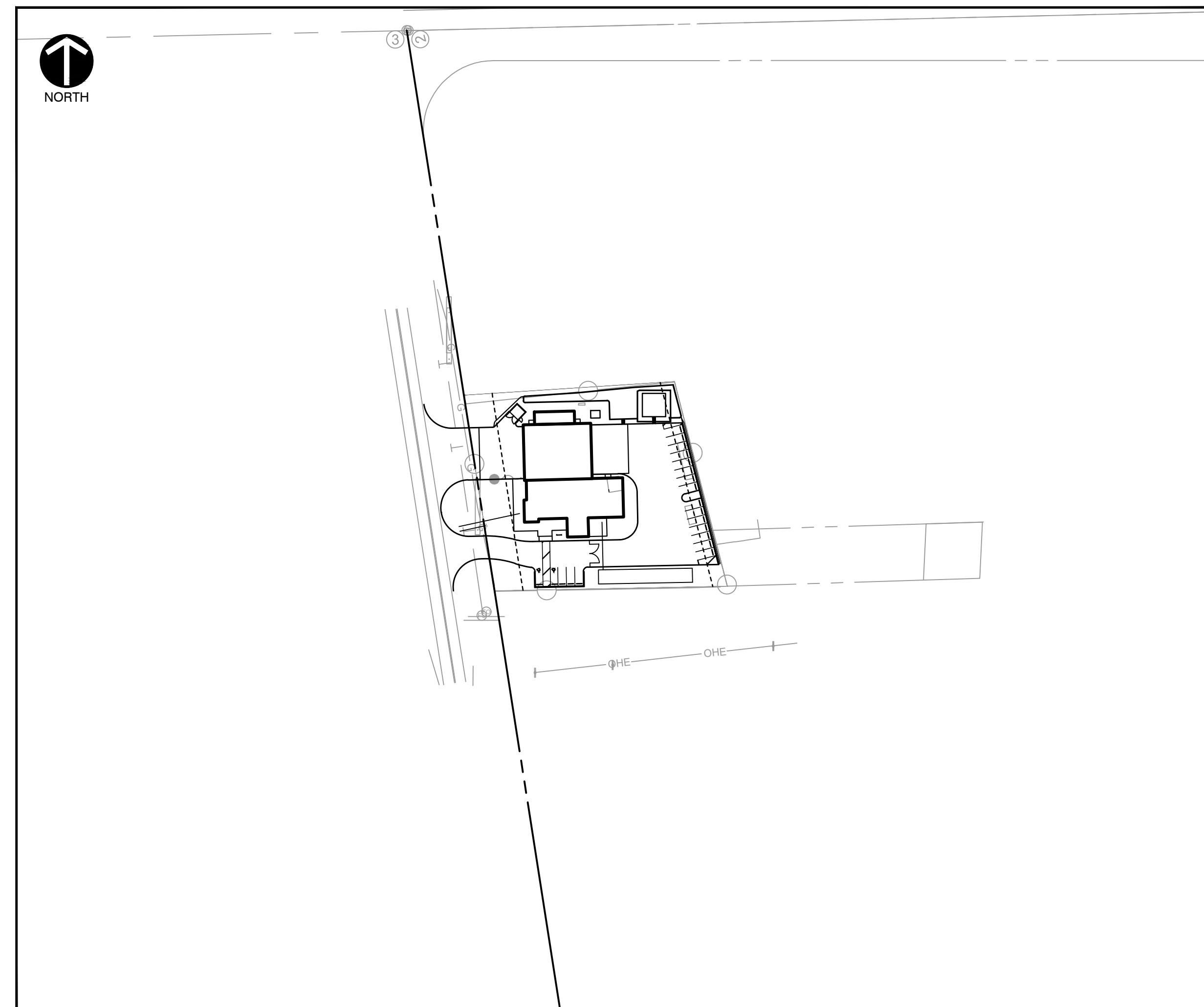
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
 555 E RIVER ROAD SUITE 301
 TUCSON, AZ 85704
 PH: (520) 321-4625
 FX: (520) 321-0333
 CONTACTS: RYAN STUCKI, PE.

OWNER

TUBAC FIRE DISTRICT
 P.O. BOX 2881
 TUBAC, AZ 85646

ARCHITECT

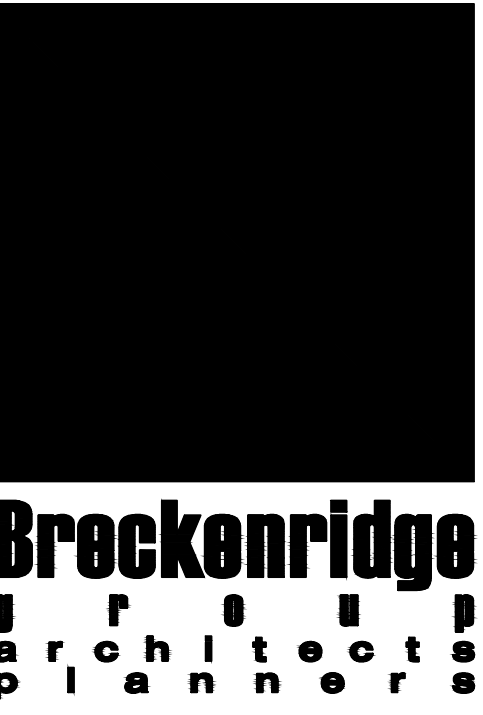
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 PLANNERS
 1735 E FORT LOWELL RD #12,
 TUCSON, AZ 85719
 PH: (520) 882-9444
 CONTACT: CARLOS DE ALVA



SITE MAP
 SCALE: 1"=100'

NOTE: THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO DIGGING AT TELEPHONE NO. 1-800-362-2764 NO EXCAVATION SHALL COMMENCE UNTIL ALL APPLICABLE UTILITIES HAVE BEEN CLEARED.

NOTE: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED, IMMEDIATELY, TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.



Tubac Fire Station #1
 2227 I-19 Frontage Rd., Tubac, AZ 85646
 CONSTRUCTION DOCUMENTS

NOT FOR
 CONSTRUCTION







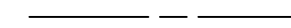





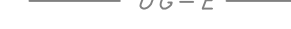


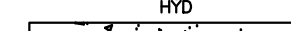
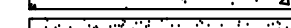
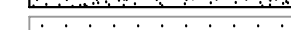

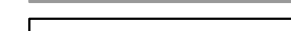



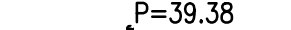
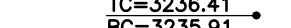
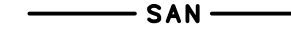

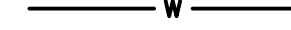



PROJECT NO:
 343873
 DATE:
 NOVEMBER 2024
 REVISION SCHEDULE:

#	DATE	DESCRIPTION	ISSUED TO

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 CHECKED BY: DRAFT
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COVER SHEET
 C1.0

LEGEND

-  EXISTING SUBJECT PROPERTY LINE
-  EXISTING EASEMENT
-  EXISTING RIGHT-OF-WAY
-  EXISTING INDEX (MAJOR) CONTOUR
-  EXISTING INTERMEDIATE (MINOR) CONTOUR
-  EXISTING FENCE LINE
-  EXISTING ROADWAY CENTERLINE
-  EXISTING WATER LINE
-  EXISTING SANITARY SEWER LINE
-  EXISTING GAS LINE
-  EXISTING OVERHEAD WIRE
-  EXISTING ELECTRIC LINE
-  EXISTING UNDERGROUND ELECTRIC LINE
-  EXISTING SPOT ELEVATION
-  EXISTING WATER VALVE
-  EXISTING FIRE HYDRANT
-  PROPOSED CONCRETE PAVEMENT
-  PROPOSED SIDEWALK
-  PROPOSED 2" AC OVER 4" ABC
-  PROPOSED 2.5" AC OVER 4" ABC
-  PROPOSED WALL
-  PROPOSED LIMITS OF BASIN
-  PROPOSED CURB
-  PROPOSED SLOPE LABEL
-  PROPOSED SPOT ELEVATION
-  TOP OF WALL ELEVATION
-  BOTTOM OF WALL ELEVATION
-  PROPOSED SANITARY SEWER
-  PROPOSED WATER METER
-  PROPOSED WATER LINE
-  PROPOSED FLOW LINE

GENERAL NOTES

1. ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH SANTA CRUZ COUNTY DESIGN CRITERIA, LATEST EDITION.
2. EXCESS SOIL GENERATED FROM EARTHWORK OPERATIONS SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED OF, OR IF ALLOWED AND APPROVED BY THE TOWN ENGINEER, SITE MATERIAL MAY BE PLACED SO AS TO BECOME AN INTEGRAL PART OF THE SITE DEVELOPMENT, ALL IN ACCORDANCE WITH THE HILLSIDE DEVELOPMENT REGULATIONS.
3. CUT AND FILL SLOPES AND LOPE TREATMENT TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE ACCEPTED GEOTECHNICAL ENGINEERING INVESTIGATION.
4. EXCESS SOIL MATERIAL GENERATED FROM EARTHWORK OPERATIONS SHALL NOT BE DISPOSED OF BY PUSHING OR PLACING SID MATERIAL INTO THE AREAS DESIGNATED AS 100 YEAR FLOODPLAIN AREAS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING PROPER AND ADEQUATE DRAINAGE.
6. ELEVATION OF FINISHED PADS SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO POURING FOUNDATIONS.
7. EXISTING UTILITY INFORMATION BASED ON FIELD SURVEY INFORMATION AND AS-BUILT PLANS. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES AND RELOCATE, IF NECESSARY, TO REMOVE UTILITIES FROM PROPOSED BUILDING FOOTPRINTS. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY IF NECESSARY.
8. CONCRETE SPLASH BLOCKS SHALL BE PLACED AT ALL ROOF DRAIN OUTLETS. CONTRACTOR MAY CONSTRUCT RIP-RAP SPLASH PADS OVER FILTER FABRIC OR GROUTED RIP-RAP IN LIEU OF SPLASH BLOCKS.
9. CONTRACTOR TO COORDINATE FINAL UTILITY ROUTING AND SIZE.
10. FINISHED SLOPES MUST CONFORM TO THE FOLLOWING:
2:1 (HORIZONTAL/VERTICAL FOR FLATTER SHALL BE REVEGETATED SIMILAR TO SURROUNDING DESERT.

SLOPES 1.5:1 OR FLATTER BUT STEEPER THAN 2:1 SHALL BE STABILIZED WITH ROCK RIP-RAP OVER FILTER FABRIC.

SLOPES STEEPER THAN 1.5:1 SHALL BE STABILIZED WITH GROUTED RIP-RAP OR RETAINING WALLS AS APPROPRIATE. SLOPES SHALL NOT EXCEED 1:1.

ALTERNATIVE METHODS OF STABILIZATION MAY BE ALLOWED WHEN SUPPORTED BY A GEOTECHNICAL REPORT PREPARED BY AN ARIZONA REGISTRANT.
11. A GEOTECHNICAL ENGINEERING REPORT, INCLUDING RECOMMENDATIONS FOR GRADING PROCEDURES AND PAVEMENT SECTIONS, HAS BEE PREPARED BY TERRACON, PROJECT NO. 63095016 DATED MARCH 2, 2009 FOR THIS PROJECT.

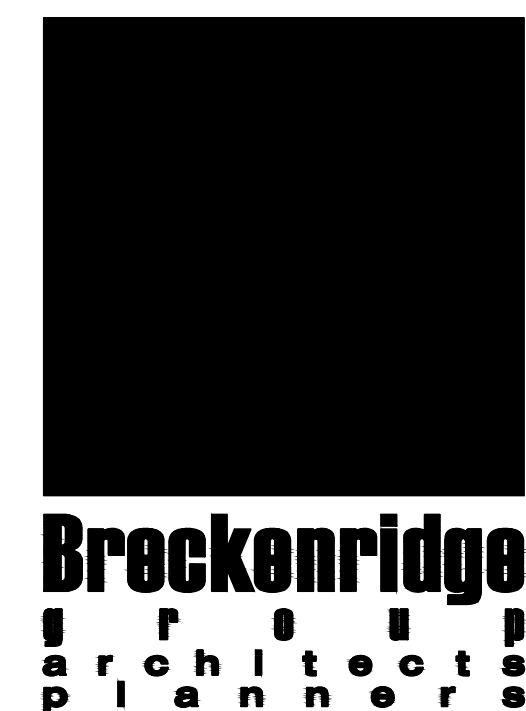
EARTHWORK SHALL CONFORM TO THE RECCOMENDATIONS CONTAINED IN SAID REPORT, AND ANY AMENDMENTS MADE THERETO.

PAVING AND GRADING NOTES

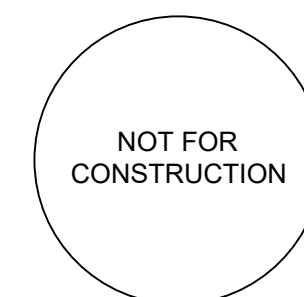
1. ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PC/COT SSP) 2003 EDITION.
2. ALL CONCRETE SHALL COMPLY TO PC/COT SSPI SECTION 1006, CLASS S, 3,000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
3. THE CONTRACTOR SHALL FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY.
4. A SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK AND PAVING OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACK FILL, TOGETHER WITH PLACEMENT AND COMPACTION OF FILL, PARKING ARE SURFACING, PAVING AND CONCRETE WORK.
5. THE CONTRACTOR SHALL ADJUST BOTH EXISTING AND NEW WATER VALVES, BOX COVERS, WATER METER BOXES, SANITARY SEWER MANHOLES AND CLEANOUT RING AND COVERS, TELEPHONE AND ELECTRIC MANHOLE RINGS AND COVERS TO FINISHED GRADE.
6. EXCAVATION AND BACKFILL FOR STRUCTURES SHALL CONFORM TO PC/COT SSPI, SECTION 203-5.

EXISTING UTILITY NOTE

EXISTING UTILITY LOCATIONS, AS SHOWN ON THE PLANS, WERE COMPILED FROM UTILITY COMPANY BASE MAPS, RECORD PLANS AND ABOVE GROUND FEATURES. HOWEVER, UTILITY LOCATIONS ARE NOT TO BE CONSIDERED EXACT OR COMPLETE. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL WITH THE APPROPRIATE ORGANIZATION AND, IF NECESSARY, POTHOLE ANY AND ALL UTILITY LOCATIONS IN QUESTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES "IN-PLACE" UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DOCUMENTS.



Tubac Fire Station #1
 2227 I-19 Frontage Rd., Tubac, AZ 85646
 CONSTRUCTION DOCUMENTS



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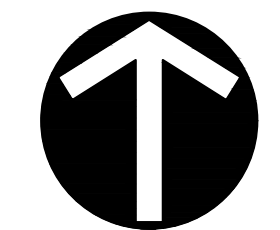
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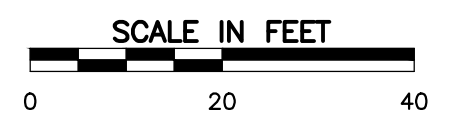
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NOTE SHEET

C1.1



NORTH



- SITE KEY NOTES**
- 1 NEW ASPHALT PAVEMENT, SEE SHEET C3.0 DETAIL 5.
 - 2 NEW CONCRETE PAVEMENT, SEE SHEET C3.0 DETAIL 6.
 - 3 NEW CONCRETE VERTICAL CURB, TYPE 2, PER PAG SD 209.
 - 4 NEW CONCRETE HEADER PER PAG SD 213.
 - 5 NEW CONCRETE SIDEWALK PER PAG SD 200. ALL ACCESSIBLE ROUTE SLOPES ARE TO COMPLY WITH 2010 ADASAD SECTION 403.3, 5% MAXIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS SLOPE.
 - 6 NEW CONCRETE CURB ACCESS RAMP. SEE MAG STD. DETAIL 238-1.
 - 7 STANDARD PARKING SPACE, SEE MARICOPA COUNTY ZONING ORDINANCE CHAPTER 11-GENERAL REGULATIONS. SEE SHEET C3.0 DETAIL 3 FOR PAVEMENT DETAILS.
 - 8 HANDICAP PARKING SPACE, SEE MARICOPA COUNTY ZONING ORDINANCE CHAPTER 11-GENERAL REGULATIONS. SEE SHEET C3.0 DETAIL 3 FOR PAVEMENT DETAILS.
 - 9 NEW TRASH ENCLOSURE, SEE SHEET C3.0 DETAIL 1.
 - 10 NEW CONCRETE VERTICAL CURB AND GUTTER, SEE MAG STD. DETAIL 220-1 TYPE A
 - 11 NEW GATE SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 12 NEW COMMUNICATIONS SHELTER PAD
 - 13 NEW TOWER PAD
 - 14 NEW BIKE RACK
 - 15 NEW CURB OPENING, SEE SHEET C3.0 DETAIL 4.
 - 16 NEW RETAINING WALL, BY OTHERS
 - 17 NEW WATER METER
 - 18 NEW FIRE SERVICE
 - 19 NEW 4" HCS. SEPTIC DESIGN BY OTHERS.
 - 20 NEW GROUTED RIPRAP, SEE SHEET C3.0 DETAIL 2.
 - 21 NEW MAINTENANCE STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 22 NEW V-DITCH CENTER LINE
 - 23 APPROXIMATE RETAINING WALL OPENING, BY OTHERS

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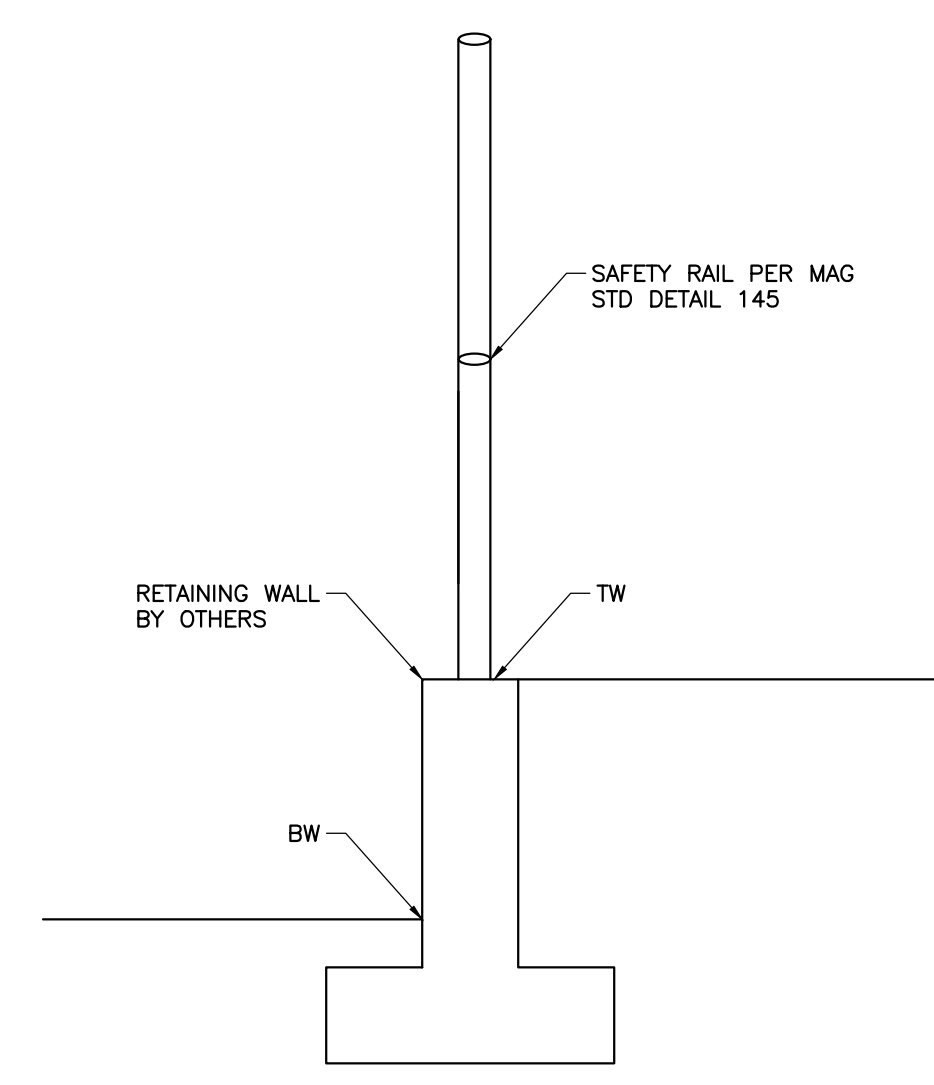
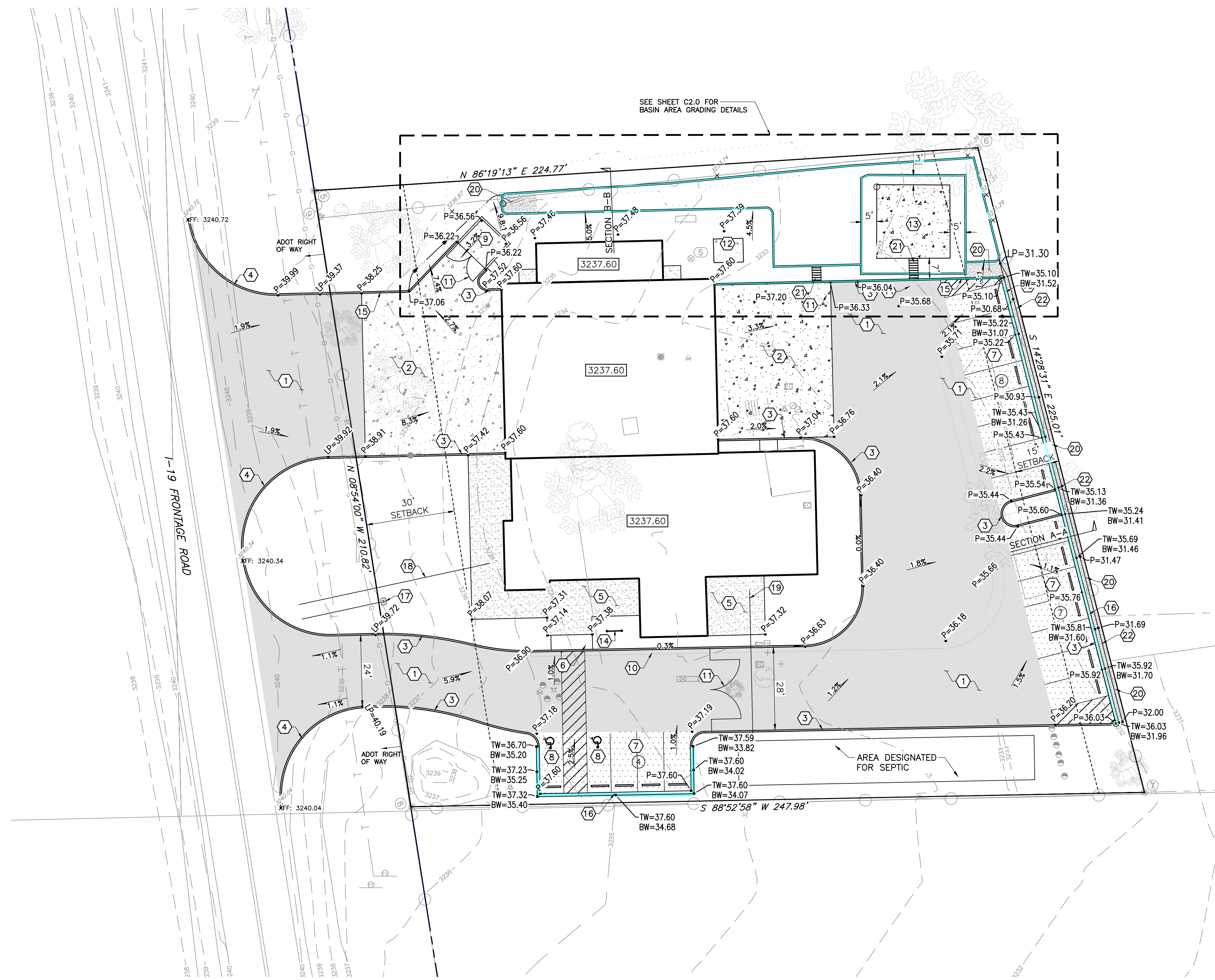
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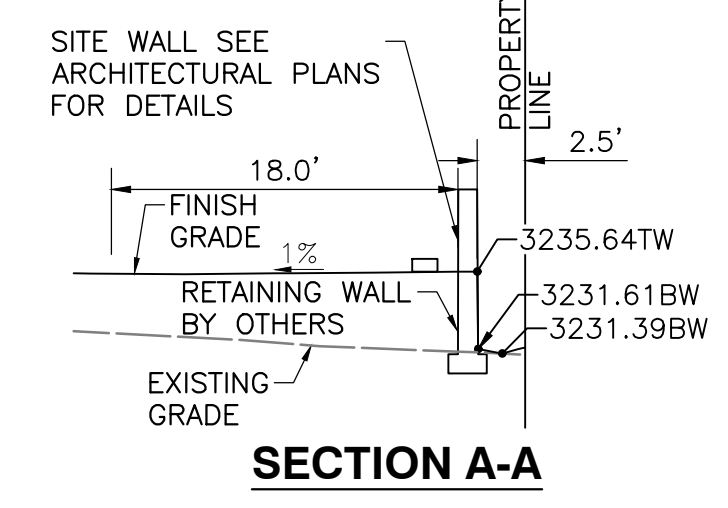
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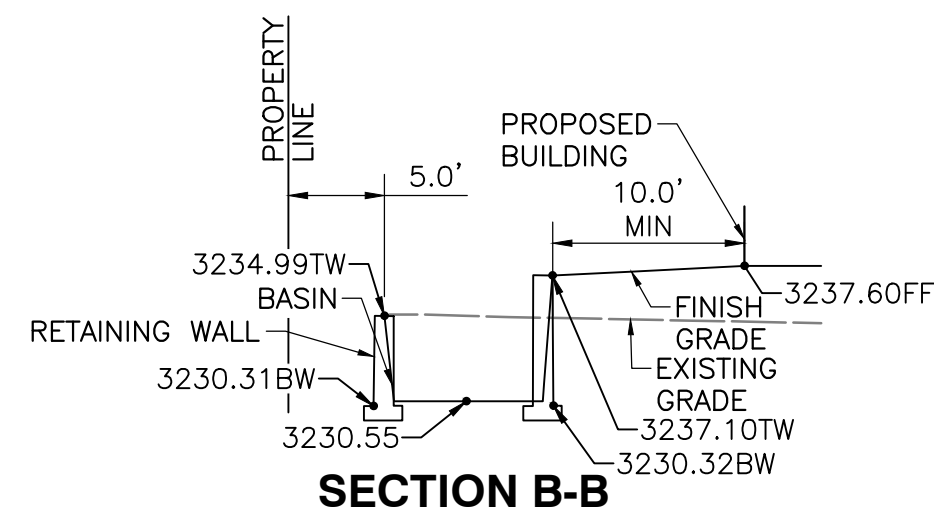
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RETAINING WALL DETAIL

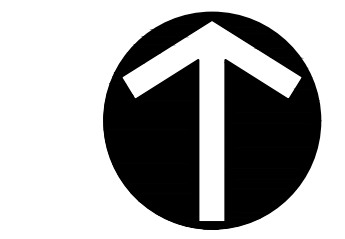


SECTION A-A

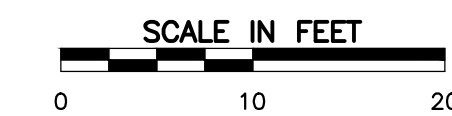


SECTION B-B

NOTE:
NO EXISTING WATER MAIN INFORMATION AVAILABLE AT TIME OF PREPARATION. ALL WATER SHOWN IS BASED ON ASSUMED INFORMATION.

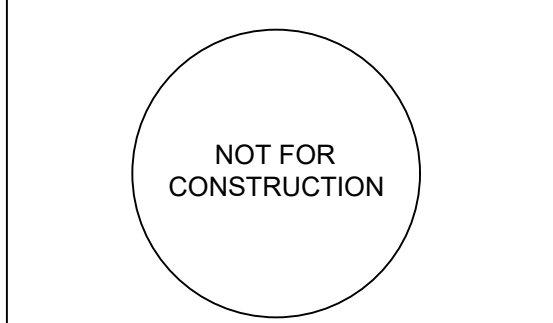
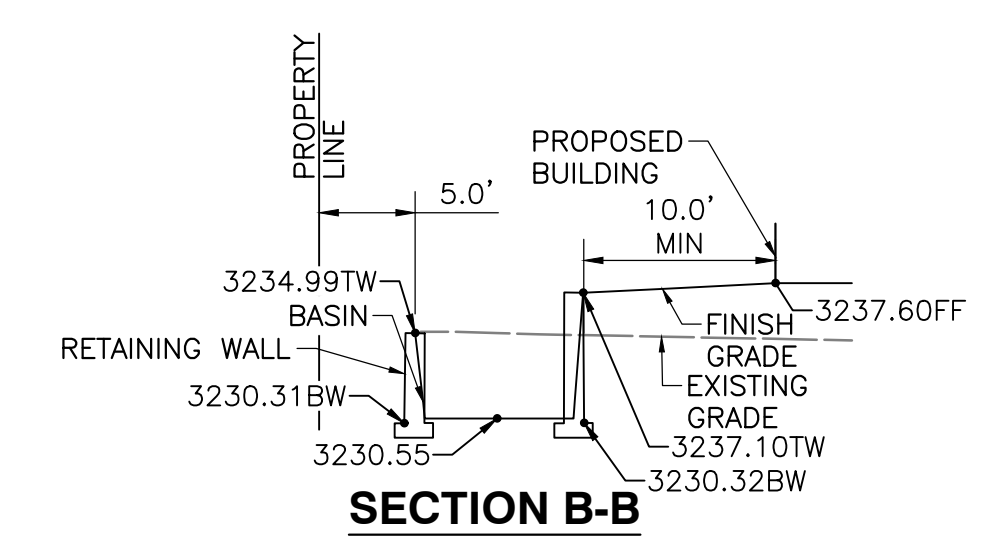
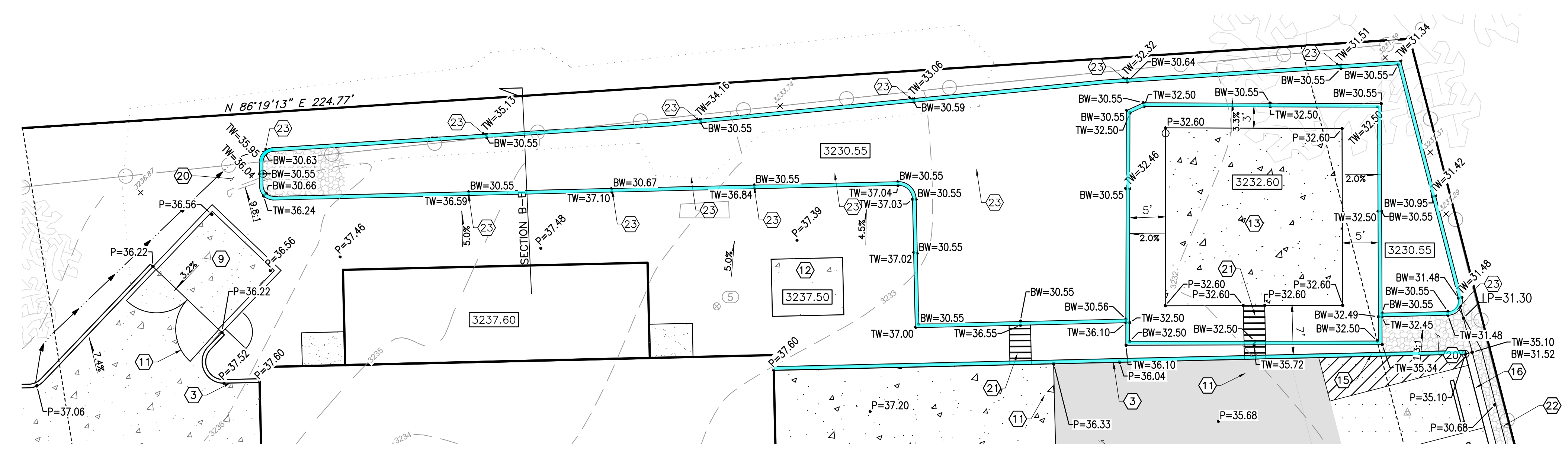


NORTH



SITE KEY NOTES

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- ⑪ NEW GATE SEE ARCHITECTURAL PLANS FOR DETAILS.
- ⑫ NEW COMMUNICATIONS SHELTER PAD
- ⑬ NEW TOWER PAD
- ⑭ NEW BIKE RACK
- ⑮ NEW CURB OPENING, SEE SHEET C3.0 DETAIL 4.
- ⑯ NEW RETAINING WALL, BY OTHERS
- ⑰ NEW WATER METER
- ⑱ NEW FIRE SERVICE
- ⑲ NEW 4" HCS. SEPTIC DESIGN BY OTHERS.
- ⑳ NEW GROUTED RIPRAP, SEE SHEET C3.0 DETAIL 2.
- ㉑ NEW MAINTENANCE STAIRS SEE ARCHITECTURAL PLANS FOR DETAILS.
- ㉒ NEW V-DITCH CENTER LINE
- ㉓ APPROXIMATE RETAINING WALL OPENING, BY OTHERS



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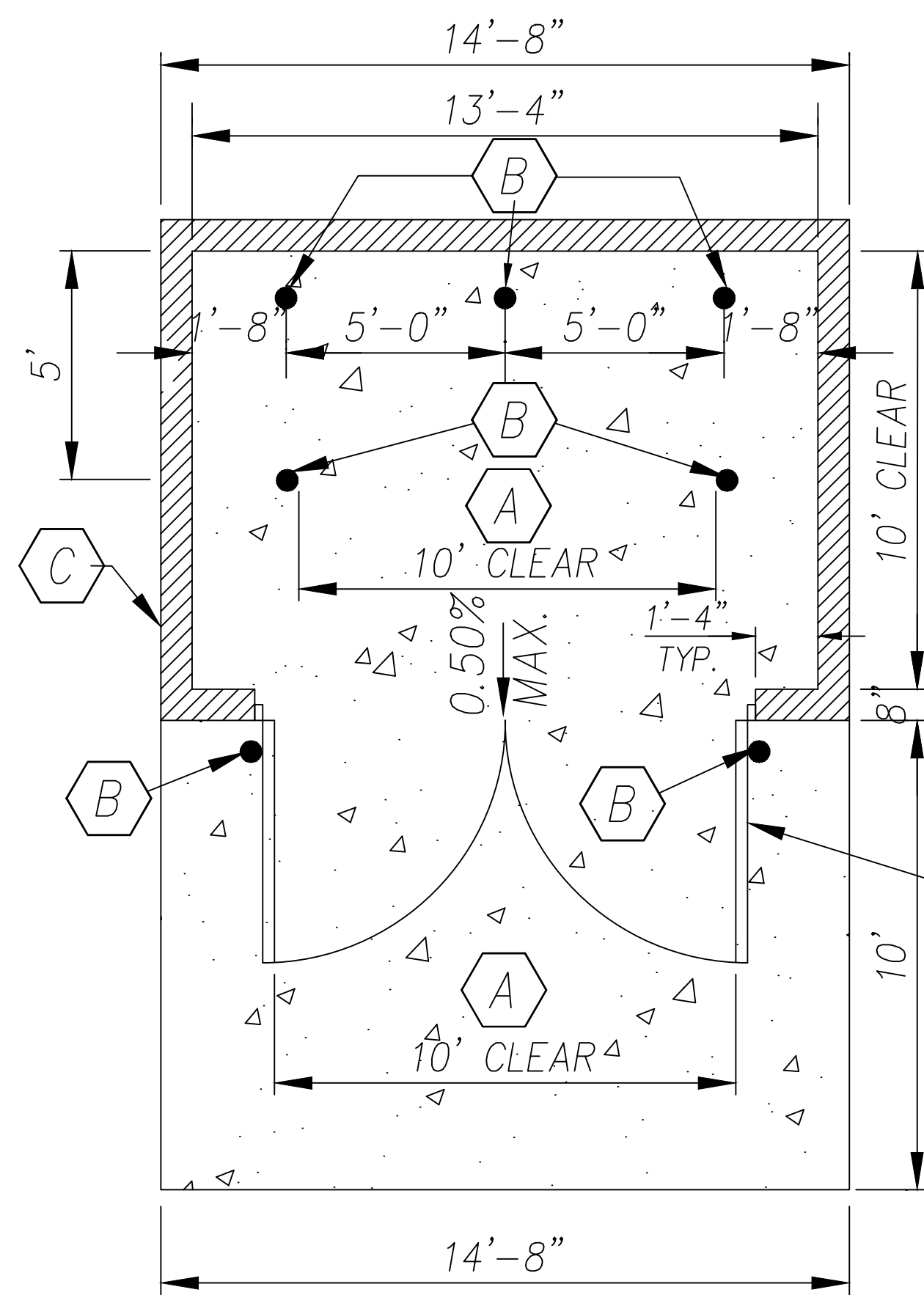
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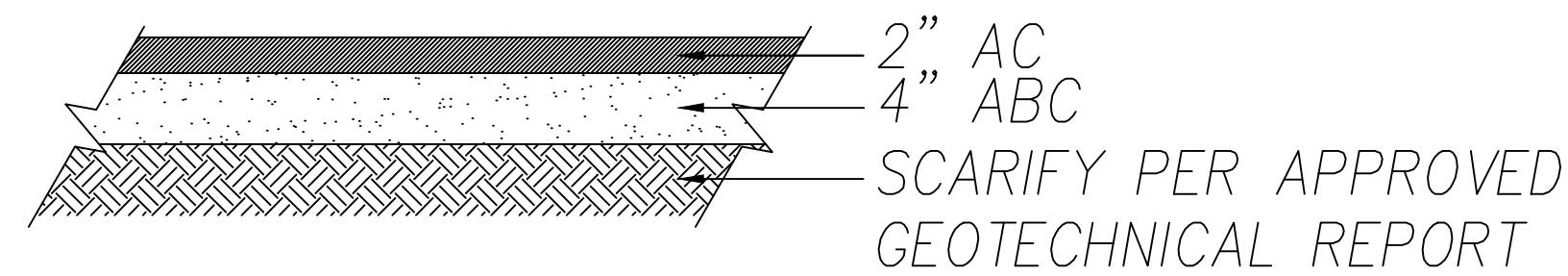
A CONSTRUCT 6" CONCRETE SLAB (3000 PSI) OVER 6" ABC

B INSTALL 7 TYPE 'A' POST BARRICADE AS SHOWN PER PAG STD. DTL. NO. 106

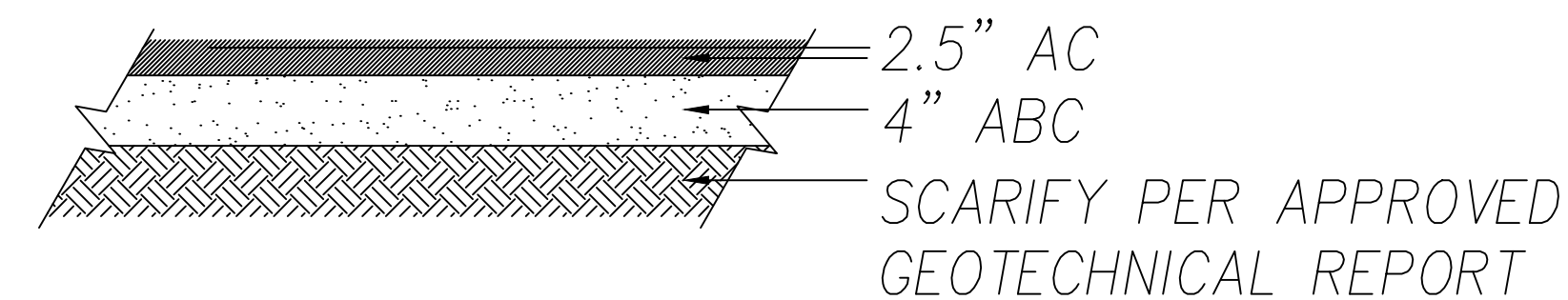
C CONSTRUCT 6' CMU SCREENWALL PER PAG STD. DTL. NO. 109 CMU COLOR AND TEXTURE BY OWNER

CONSTRUCT GATE, SELF CLOSING OPAQUE, SELF LATCHING PER ARCHITECTURAL DRAWINGS (SELF-CLOSING OPAQUE, SELF LATCHING)

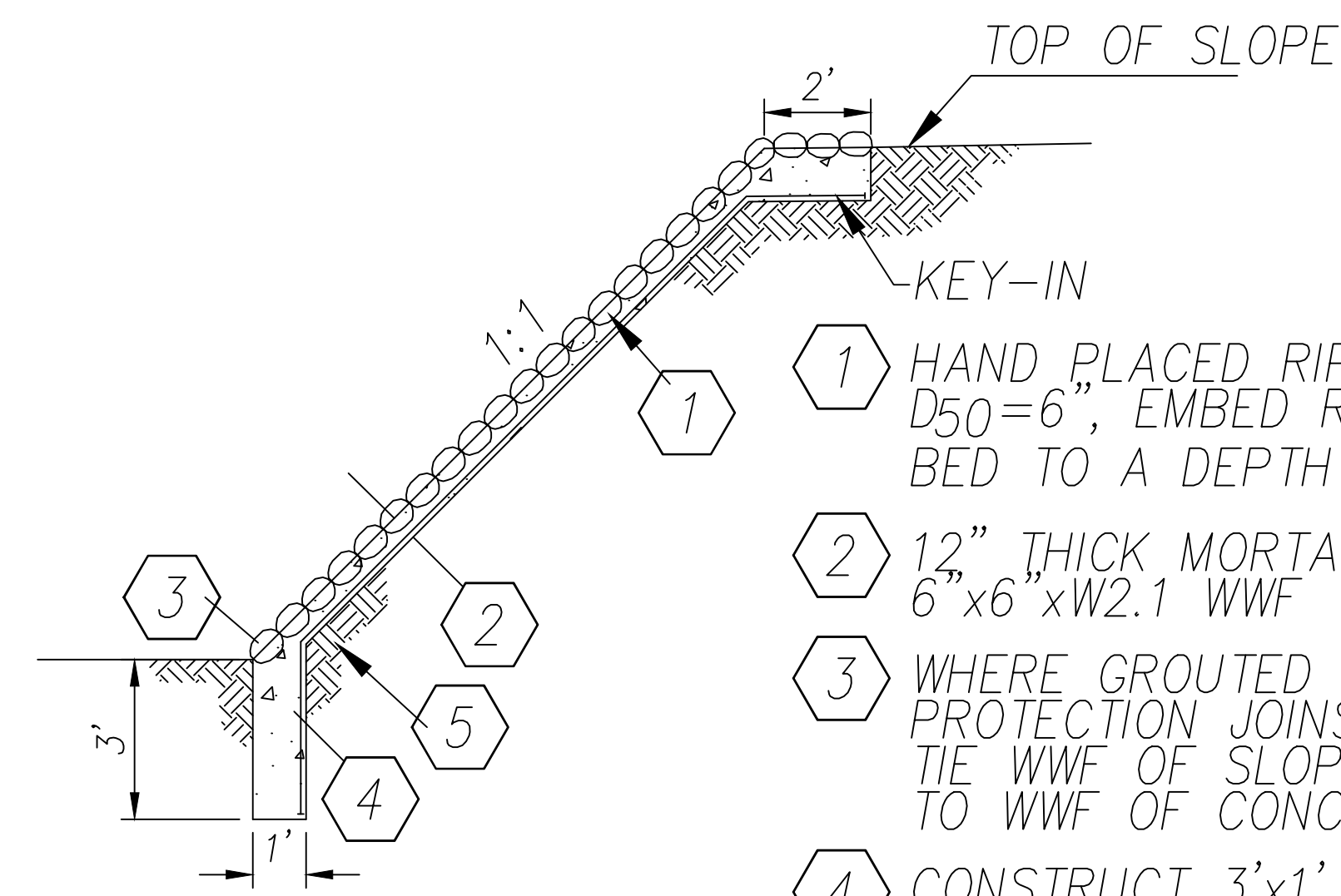
1 TRASH ENCLOSURE
NTS



3 TYPICAL PARKING PAVEMENT SECTION
PAAL AND PARKING PAVEMENT SECTION PER GEOTECHNICAL REPORT
NTS



5 TYPICAL PAVEMENT SECTION
PAAL AND PARKING PAVEMENT SECTION PER GEOTECHNICAL REPORT
NTS



1 HAND PLACED RIPRAP D50=6", EMBED ROCK IN 12" MORTAR BED TO A DEPTH OF 1/2 ROCK DIAMETER

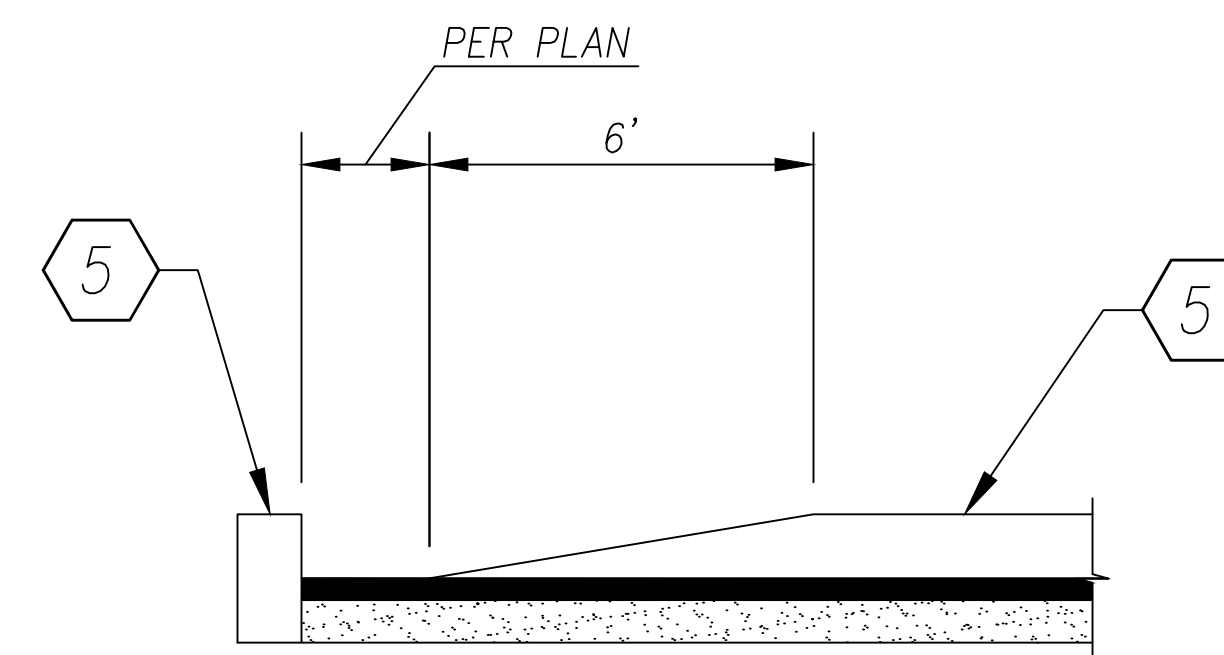
2 12" THICK MORTAR BASE WITH 6"x6"xW2.1 WWF

3 WHERE GROUTED RIPRAP SLOPE PROTECTION JOINS CONC. TOEDOWN, TIE WWF OF SLOPE PROTECTION TO WWF OF CONC. TOEDOWN

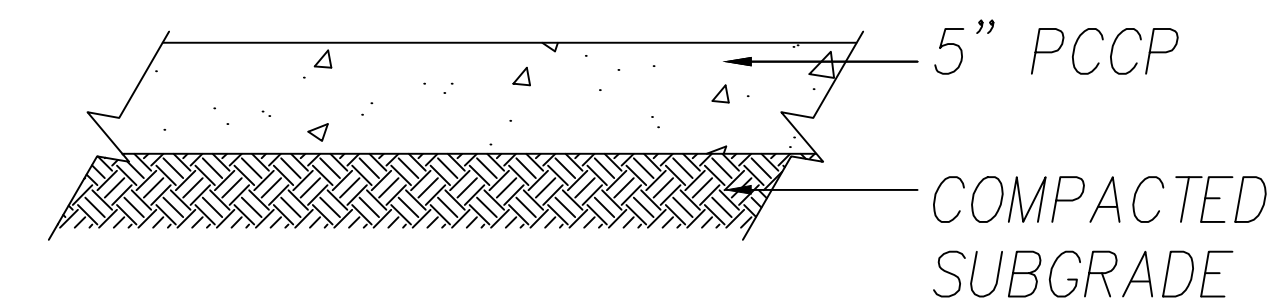
4 CONSTRUCT 3'x1' CONCRETE TOEDOWN WITH 6"x6"xW2.1 WWF

5 SCARIFY 10": RECOMPACT TO 95% MIN DRY DENSITY.

2 GROUTED RIPRAP SLOPE
NTS



4 CURB OPENING
NTS



6 CONCRETE PAVEMENT SECTION
PAAL AND PARKING PAVEMENT SECTION PER GEOTECHNICAL REPORT
NTS

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